

CITY OF ARCADIA

Arcadia Planning Commission Regular Meeting Agenda



Tuesday, December 14, 2021, 7:00 p.m.

Location: City Council Chambers, 240 W. Huntington Drive, Arcadia

Pursuant to the Americans with Disabilities Act, persons with a disability who require a disability related modification or accommodation in order to participate in a meeting, including auxiliary aids or services, may request such modification or accommodation from Planning Services at (626) 574-5423. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to assure accessibility to the meeting.

根据《美国残障人法案》的规定，需要提供残障相关调整或便利设施才能参加会议的残障人士（包括辅助器材或服务），可向规划服务部请求获得此类调整或便利设施，电话号码 (626) 574-5423。请在会前 48 小时通知规划服务部，以便作出合理安排，确保顺利参加会议。

Pursuant to the City of Arcadia's Language Access Services Policy, limited-English proficient speakers who require translation services in order to participate in a meeting may request the use of a volunteer or professional translator by contacting the City Clerk's Office at (626) 574-5455 at least 72 hours prior to the meeting.

根据阿凯迪亚市的语言便利服务政策，英语能力有限并需要翻译服务才能参加会议的人可与市书记官办公室联系（电话：626-574-5455），请求提供志愿或专业翻译服务，请至少在会前 72 小时提出请求。

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

Marilynne Wilander, Chair
Zi Lin, Vice Chair
Kenneth Chan, Commissioner
Brad Thompson, Commissioner
Vincent Tsoi, Commissioner

SUPPLEMENTAL INFORMATION FROM STAFF REGARDING AGENDA ITEMS

PUBLIC COMMENTS (5 minute time limit per person)

Each speaker is limited to five (5) minutes per person, unless waived by the Planning Commission. Under the Brown Act, the Commission or Board Members are prohibited from discussing or taking action on any item not listed on the posted agenda.

PUBLIC HEARING

All interested persons are invited to appear at a public hearing and to provide evidence or testimony concerning any of the proposed items set forth below for consideration. Separate and apart from the applicant (who may speak longer in the discretion of the Commission) speakers shall be limited to **five (5) minutes per person**. The applicant may additionally submit rebuttal comments, at the discretion of the Commission.

You are hereby advised that should you desire to legally challenge in court or in an administrative proceeding any action taken by the City Council regarding any public hearing item, you may be limited to raising only those issues and objections you or someone else raised at the public hearing or in written correspondence delivered to the City Council at, or prior to, the public hearing.

1. **Resolution No. 2085** – Approving Multiple Family Architectural Design Review and Tentative Tract Map No. 83604 with a Categorical Exemption under the California Environmental Quality Act (“CEQA”) for a 10 unit multi-family residential condominium development at 1022 La Cadena Avenue

Recommendation: Adopt Resolution No. 2085

Applicant: Philip Chan of PDS Studio, Inc.

There is a ten day appeal period after the adoption of the Resolution. if adopted, appeals are to be filed by 5:30 p.m. on Monday, December 27, 2021.

CONSENT CALENDAR

All matters listed under the Consent Calendar are considered to be routine and can be acted on by one roll call vote. There will be no separate discussion of these items unless members of the Commission, staff, or the public request that specific items be removed from the Consent Calendar for separate discussion and action.

2. Minutes of the November 9, 2021 Regular Meeting of the Planning Commission

Recommendation: Approve

PLANNING & COMMUNITY DEVELOPMENT ADMINSTRATOR’S REPORT

3. Report on Senate Bill 9 (SB 9)

PLANNING COMMISSION REORGANIZATION

4. Planning Commission Reorganization

Recommended Action: It is recommended the Secretary initiate the procedure for the reorganization of the Planning Commission

MATTERS FROM CITY COUNCIL LIASION

MATTERS FROM PLANNING COMMISSIONERS

MATTERS FROM ASSISTANT CITY ATTORNEY

MATTERS FROM STAFF INCLUDING UPCOMING AGENDA ITEMS

ADJOURNMENT

The Planning Commission will adjourn this meeting to Tuesday, January 11, 2022, at 7:00 p.m.



STAFF REPORT

Development Services Department

DATE: December 14, 2021

TO: Honorable Chair and Planning Commission

FROM: Lisa L. Flores, Planning & Community Development Administrator
By: Vanessa Quiroz, Associate Planner

SUBJECT: RESOLUTION NO. 2085 - APPROVING MULTIPLE FAMILY ARCHITECTURAL DESIGN REVIEW AND TENTATIVE TRACT MAP NO. 83604 WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”) FOR A 10-UNIT MULTI-FAMILY RESIDENTIAL CONDOMINIUM DEVELOPMENT AT 1022 LA CADENA AVENUE
Recommendation: Adopt Resolution No. 2085

SUMMARY

The Applicant, Philip Chan of PDS Studio, Inc., on behalf of the property owner, Cambria Sage, LLC., is requesting approval of Multiple Family Architectural Design Review No. MFADR 21-04 and Tentative Tract Map No. TTM 21-06 (83604) for a 10-unit multi-family residential condominium development at 1022 La Cadena Avenue. The proposed development and subdivision are consistent with the City’s General Plan, Development Code, and Subdivision Map Act. It is recommended that the Planning Commission adopt Resolution No. 2085 (Attachment No. 1) and find this project categorically exempt under (“CEQA”) and approve Multiple Family Architectural Design Review No. MFADR 21-04 and Tentative Tract Map No. TTM 21-06 (83604), subject to the conditions listed in this staff report. This item was originally scheduled for the November 23, 2021, Planning Commission meeting, but due to a lack of a quorum the meeting was adjourned to the December 14, 2021, Planning Commission meeting.

BACKGROUND

The subject property is a 20,848 square foot interior lot. As part of the project, a three foot dedication is required at the front of the property to accommodate a 10 foot parkway. This will result in a new lot size of approximately 19,980 square feet. The site is zoned R-3, High Density Multi-Family Residential with a General Plan Designation of HDR – High Density Residential. The lot is located between Fairview Avenue and Arcadia Avenue

along La Cadena Avenue. The property is surrounded by other multi-family residences that are also zoned R-3 zone – refer Attachment No. 2 for an Aerial photo with Zoning Information and Photos of the Subject Property and Vicinity.

The site is currently developed with two (2) units that have been unoccupied since October of 2020 to accommodate the new development. The first dwelling (1022 La Cadena Avenue) was built in 1926 and the second dwelling (1024 La Cadena Avenue) was built in 1944. The site is also developed with multiple ancillary structures such as a detached garage, shed, large barn/workshop with an office, and a covered patio. A Certificate of Demolition (COD) for the subject property was approved on June 2, 2021 – refer to Attachment No. 3 for the Historical Evaluation. Based on the evaluation by an Architectural Historian, the property does not meet any of the minimum requirements for recognition as a historical resource nor is it eligible for listing on the California Register or as a local landmark. The residences are not a good example of a particular architectural style and is not representative of or associated with any important historical events or people.

PROPOSAL

The Applicant is proposing to construct a new 10 unit, multi-family residential condominium development and each unit will have a two-car garage – refer to Attachment No. 5 for the Architectural Plans. The project consists of five (5) buildings, each with two three-story townhome units. The units vary in size between 1,338 square feet to 1,826 square feet and it will have 3-4 bedrooms per unit. Unit A is accessed from La Cadena Avenue, and the rest of the units will be accessed from the pedestrian walkway located along the northerly side of the property, as shown in Figure No. 1.

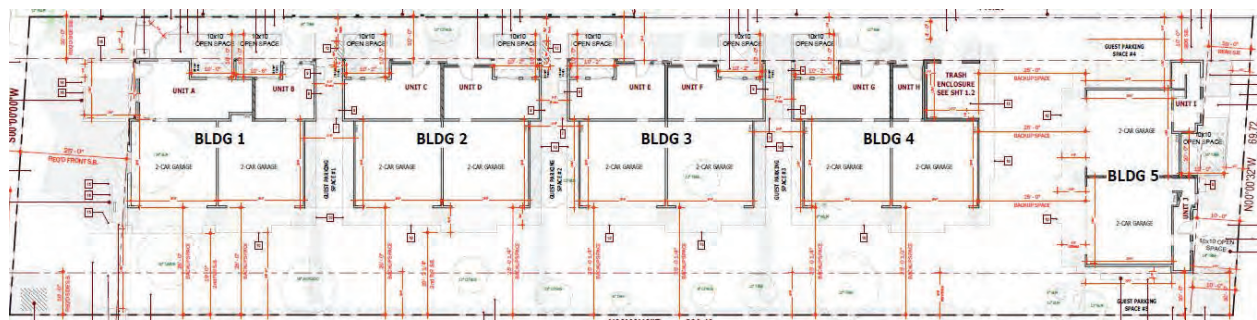


Figure No. 1. Proposed Site Plan

Each unit will have a 20' x 20' two car garage, and the site will have five (5) guest parking spaces and two (2) bicycle spaces, as required by the Development Code. In terms of required open space, each unit will either meet or exceed the requirement of 100 square feet. All the buildings will have an overall building height of 33'-0", which is the maximum allowed with a pitched roof. Therefore, the proposed development will comply with the height and all applicable Development Code requirement for a new development within the R-3 zone.

ANALYSIS

The R-3 zone has a minimum density of one dwelling unit per 2,200 square feet of lot area, and a maximum density of one unit per 1,450 square feet of lot area. With the dedication, the subject site will measure at 19,980 square feet in lot area. This calculates to a minimum of nine units and a maximum of 13 units for the subject site; therefore, the proposed 10 unit development complies with the density requirements of the underlying zone. The project will comply with the parking requirements, and all development standards of the R-3 Zone, including but not limited to setbacks, height, and open space.



Figure No. 2: Project Rendering

Concurrent with the subdivision application, the Planning Commission is to approve, conditionally approve, or deny the architectural design of the proposed project. The proposed project went through a couple of reiterations during the design review to address concerns with the façade of the buildings, articulation, and site improvement layouts. However, the project was finally revised to an acceptable design. The architectural style of the development is described as Spanish style – refer to Attachment No. 5 and Figure No. 2. The exterior materials and design elements consist of beige colored smooth stucco, s-tile roof material in a brown-blend color, decorative molding, shutters, wooden panels, and vent details that highlight the chosen architectural style. The project does not only compliment the adjacent Spanish-style developments but the entire surrounding neighborhood. The front entrance of each residential unit is oriented towards a pedestrian walkway this provides a good connectivity among the units and to the street. Each unit will have ample private open space. Although lush landscaping is provided in the front yard to help soften the appearance of the new development, additional landscaping (i.e. hedges and trees) will be required throughout the property lines to provide screening and to help soften the appearance of the development from

neighboring properties. A condition has been placed on the project that to this effect – refer to condition no. 5.

In terms of scale, the three-story building is compatible with the neighborhood as the neighborhood consists of other multi-family development that are similar in scale and mass, specifically with a multi-family development that includes a semi-subterranean level which gives the structure a 2.5 level appearance and a new three-story multi-family project that is currently under construction. Thus, the project is compatible with the surrounding multi-family developments and is consistent with the City's Multifamily Residential Design Guidelines.

The proposed subdivision for the condominiums complies with the subdivision regulations of the Development Code and the Subdivision Map Act, and will not violate any requirements of a California Regional Water Quality Control Board.

The proposed development will be consistent with the City's General Plan, Multi-family Residential Design Guidelines, Development Code, and the State Subdivision Map Act. The proposed plans have been reviewed by the various City Departments, and all City requirements shall be complied with to the satisfaction of the Building Official, City Engineer, Planning & Community Development Administrator, Fire Marshal, and Public Works Services Director, or their respective designees.

FINDINGS

Tentative Tract Map

The proposal to subdivide the airspace for 10 residential condominium units requires a subdivision through the Tentative Tract Map process – see Attachment No. 4 for Tentative Tract Map No. TTM 21-06 (83604). The proposed subdivision complies with the subdivision regulations of the Arcadia Municipal Code and the Subdivision Map Act, and will not violate any requirements of the California Regional Water Quality Control Board. The following findings are required for approval of a Tentative Tract Map:

- A. The proposed map, subdivision design, and improvements are consistent with the General Plan, any applicable specific plan, and the Subdivisions of the Development Code.**

Facts in Support of the Finding: Approval of a 10-unit multi-family residential condominium development with a tentative tract map to subdivide the airspace is consistent with the High-Density Residential Land Use designation. The High-Density Residential designation is intended to accommodate higher density attached and/or detached housing types for both renter and owner households within a neighborhood context. The R-3 zone is intended to provide areas for a variety of medium-to-high-density residential development including townhomes and condominiums. The proposed ten-unit multi-family residential condominium development is in conformance with the City's General Plan, Development Code, and the Subdivision Map Act. The site is physically suitable for this type of

development, and the approval of the architectural design for the building is compatible with the scale and character of the existing neighborhood. The proposal will not adversely affect the comprehensive General Plan and is consistent with the following General Plan goals and policies:

Land Use and Community Design Element

- Policy LU-1.1: Promote new infill and redevelopment projects that are consistent with the City’s land use and compatible with surrounding existing uses.
- Policy LU-4.1: Require that new multi-family residential development be visually and functionally integrated and consistent in scale, mass, and character with structures in the surrounding neighborhood.

B. The site is physically suitable for the type and proposed density of development.

Facts in Support of the Finding: The R-3 zone has a minimum density of one dwelling unit per 2,200 square feet of lot area, and a maximum density of one unit per 1,450 square feet of lot area. This calculates to a minimum of nine (9) units and a maximum of 13 units for the subject property. The proposed 10 unit multi-family development complies with the density requirements per the Development Code. In addition, there are no physical impediments to the development of this site for residential condominiums.

C. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

Facts in Support of the Finding: The proposed tentative tract map to subdivide the air space for the 10 condominium units is a minor subdivision of an infill site within an urbanized area; therefore, it will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

D. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems.

Facts in Support of the Finding: The proposed subdivision is to subdivide the air space for a ten-unit multi-family condominium development. The construction of the 10 multi-family residential units are being done in compliance with Building and Fire Codes and all other applicable regulations. The proposed density will be below the maximum allowed by the R-3 zone and the City’s existing infrastructure will adequately serve the new development. In addition, the project meets all health and safety requirements, and will not cause any public health or safety problems.

- E. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of, property within the proposed subdivision (This finding shall apply only to easements of record or to easements established by judgement of a court of competent jurisdiction and no authority is hereby granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision); and**

Facts in Support of the Finding: The proposed design of the subdivision or the type of improvements do not conflict with any easements acquired by the public at large for access through or use of the property within the proposed subdivision. Based on the tentative tract map, there are no easements on the subject properties. As part of the subdivision, a dedication is required for sidewalk purposes to create a 10 foot parkway along La Cadena Avenue.

- F. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements specified by the California Regional Water Quality Control Board; and**

Facts in Support of the Finding: The Arcadia Public Works Services Department determined that the City's existing infrastructure will adequately serve the new development, and the requirements of the California Regional Water Quality Control Board will be satisfied.

- G. The proposed design and site improvements of the subdivision conform to the regulations of the City's Development Code and the regulations of any public agency having jurisdiction by law.**

Facts in Support of the Finding: The proposed subdivision as conditioned complies with the density requirements of the City's Development Code, and all the improvements required for the site and each unit will comply with the regulations in the City's Development Code.

Architectural Design Review

The proposed project is a well thought-out design. The proposed Spanish architectural style of the development includes design elements and features that will not only enhance the overall style of the building, but also the existing streetscape. In order to provide screening and help soften the appearance of the buildings to the adjacent neighbors, staff is requiring more landscaping (i.e. hedges and trees) along the side and rear yard area adjacent to the property line – refer to condition no. 5. The development is compatible in terms of scale and height with other multi-family developments on this street. Therefore, the project is compatible with the surrounding multi-family developments and is adequate and consistent with the City's Multifamily Residential Design Guidelines.

All City requirements regarding disabled access and facilities, occupancy limits, building safety, health code compliance, emergency equipment, environmental regulation compliance, and parking and site design shall be complied with by the property owner/applicant to the satisfaction of the Building Official, City Engineer, Planning & Community Development Administrator, Fire Marshal, and Public Works Services Director, or their respective designees.

ENVIRONMENTAL ASSESSMENT

It has been determined that the project site is less than five (5) acres; the proposed project will not have any significant effects upon the environment, and the site can be adequately served by all the required utilities and public services. Therefore, the project is categorically exempt under Class 32 (In-Fill Development Projects) pursuant to Section 15332 of the State California Environmental Quality Act (CEQA) Guidelines. Refer to Attachment No. 6 for the Preliminary Exemption Assessment.

PUBLIC NOTICE/COMMENTS

This item was originally scheduled for the November 23, 2021, Planning Commission meeting. A public hearing notice for this item was mailed to the owners of those properties that are located within 300 feet of the subject property on November 10, 2021, and was published in the *Arcadia Weekly* on November 11, 2021. However, due to a lack of a quorum on the meeting date, a Notice of Adjournment was posted and the meeting was rescheduled to the December 14, 2021 Planning Commission meeting.

During the comment period, staff received a total of four comments of which two were verbal comments and two were written comments from adjacent residents and property owners. In general, the comments were related to concerns about the height of the development, visual impacts (windows and screening), parking impacts, fencing, and the removal of existing trees. In terms of the height, the project complies with the permitted height under the Development Code. There are other multi-family developments in the immediate neighborhood that are similar in scale and height, as such the project was found to be compatible. As for parking, the project was parked to Code. None of the existing trees on the subject site are protected trees under the City's Tree Preservation Ordinance. In terms of fencing, visibility, and screening, those items were already addressed under condition nos. 4 and 5. To further address the concerns regarding the windows, staff has conditionally required that the Applicant reduce the number of windows on the second floor living room from three to two windows in Units I and J – refer to condition no. 6. This reduction will address the privacy concern and still comply with the required percentage of natural lighting and ventilation for a room per the Building Code.

The Applicant was not required to notify the tenants of the proposed project as the residences have been unoccupied since October of 2020, and the property owner has no intentions of renting them out because of this potential development.

RECOMMENDATION

It is recommended that the Planning Commission approve Multiple Family Architectural Design Review No. MFADR 21-04 and Tentative Tract Map No. TTM 21-06 (83604), subject to the following conditions, find that the project is categorically exempt from the California Environmental Quality Act (CEQA), and adopt Resolution No. 2085, subject to the following conditions of approval:

1. The project shall be developed and maintained by the Property Owner/Applicant in a manner that is consistent with the plans submitted and conditionally approved for MFADR 21-04 and TTM 21-06 (83604), subject to the approval of the Planning & Community Development Administrator, or designee.
2. Any required mechanical equipment, such as backflow devices, visible from the public right-of-way or alley shall be screened from public view. Screening may include landscaping, solid walls or other methods deemed appropriate for the development. The placement and height of said screening shall be subject to review and approval by the Planning & Community Development Administrator, or designee.
3. The Property Owner/Applicant shall dedicate additional right-of-way along La Cadena Avenue frontage for a total half street width of 30 feet measured from the centerline of the street and a 10 foot parkway. This dedication shall be shown on the Final Tract Map.
4. Prior to submitting the plans to the Building Division for plan-check review, the Applicant/Property owner shall submit revised plans to the Planning Division that shows a new perimeter stucco wall, up to six (6) feet in height, along the side and rear property line. The new wall be placed at least two inches inside the property lines. The building footprints might have to be reduced to accommodate the new wall and landscaping, as required under condition no. 5. The final changes shall be subject to review and approval of the Planning & Community Development Administrator, or designee.
5. Prior to submitting the plans to the Building Division for plan-check review, the conceptual landscaping plan shall be submitted to the Planning Division for final review and approval by the Planning & Community Development Administrator, or designee. The final conceptual landscape plans shall include tall hedges and trees along the sides and rear of the project site to provide adequate screening and help soften the appearance of the building. The building footprints might have to be reduced to accommodate the hedges and trees to ensure they have proper spacing for growth.
6. The second floor windows on the east elevation of Building #5 (Units I and J), shall be reduced from three to two windows.
7. Prior to approval of the Final Tract Map, the Property Owner/Applicant shall either construct or post security for all public improvements as shown on the Tentative Tract Map No. 83604 and listed below:

- a. Remove and replace the existing sidewalk, curb, and gutter along the entire property frontage.
 - b. Construct a sidewalk from property line to property line. The sidewalk must be fully ADA around all obstacles.
 - c. The new driveway shall be installed per City Standard plan with the top of the wing at a minimum of one foot away from the property line.
8. Prior to the issuance of the Certificate of Occupancy, the Property Owner/Applicant shall repair any damages caused by the development to the asphalt street frontage from property line to property line including but not limited to trench cuts and construction traffic, per the direction of the City Engineer or Designee.
9. The project shall comply with the latest adopted edition of the following codes as applicable:
 - a. California Building Code
 - b. California Residential Code
 - c. California Electrical Code
 - d. California Mechanical Code
 - e. California Plumbing Code
 - f. California Energy Code
 - g. California Fire Code
 - h. California Green Building Standards Code
 - i. California Existing Building Code
 - j. Arcadia Municipal Code
10. The project shall comply with Arcadia Municipal Code Section 8130.20 which pertains to Chapter 35: A Multiple Family Construction Standards of the California Building Code.
11. The grading plans for the project shall be submitted for the review and approval of the Building Division prior to the issuance of a building permit. The grading plans shall indicate all site improvements and shall indicate complete drainage paths of all drainage water run-off.
12. No demolition permit shall be issued prior to the issuance of a building permit for the new development.
13. All utility conductors, cables, conduits and wiring supplying electrical, cable and telephone service to a multiple family building shall be installed underground except risers which are adjacent to and attached to a building.
14. All structures shall be provided with an automatic fire sprinkler system per the City of Arcadia Fire Department Multi-Family Dwelling Sprinkler Standards.
15. Prior to the issuance of a Certificate of Occupancy, a 20 foot wide fire lane shall be provided along the south side of the property that will extend from the site entry to within 150 feet of the furthest point of the furthest building.
16. Prior to the issuance of a Certificate of Occupancy, a knox switch shall be provided for the vehicular entry gate.

17. The development shall utilize an 8-inch Vitrified Clay Pipe (VCP) City-owned sewer main is available on La Cadena Avenue.
18. The Property Owner/Applicant shall utilize existing sewer lateral, if possible.
19. If any drainage fixture elevation is lower than the elevation of next upstream manhole cover (463.82'), an approved backwater valve is required.
20. An eight inch (8") cast iron water main with 67 psi static pressure is available on La Cadena Avenue to serve the subject site. The Property Owner/Applicant shall provide calculations to determine total combined maximum domestic and fire demand, and verify the required water service size required.
21. The Property Owner/Applicant shall install a master common domestic water meter that is capable of supplying sufficient water to meet all domestic and fire suppression need for all of the units.
22. In the event that fire suppression is common to the complex, the Property Owner/Applicant shall separate the fire service with a Double Detector Check Assembly (DCDA) and shall be installed as directed by the Fire Marshal.
23. If a common water service is to be used to supply both domestic water and fire sprinklers, the Property Owner/Applicant shall separate the fire service from the domestic water service for each unit with an approved backflow device.
24. All condominium units shall require a separate water service and meter for common area landscape irrigation.
25. The Property Owner/Applicant shall submit a Water Meter Clearance application to the Public Works Services Department prior to permit issuance.
26. The Property Owner/Applicant shall install a new water service according to the specifications of the Public Works Services Department, Engineering Division. Abandonment of existing water services, if necessary, shall be carried out by the Property Owner/Applicant, according to Public Works Services Department, Engineering Division specifications.
27. The Property Owner/Applicant shall integrate Low Impact Development (LID) strategies into the site design per the County of Los Angeles 2014 standards manual to the City Engineer prior to the issuance of a building permit.
28. The Property Owner/Applicant shall install a trash enclosure with a one-foot clearance around all bins, including but not limited to trash and recycling bins to the satisfaction of the Public Works Services Director, or designee.
29. The Property Owner/Applicant shall comply with all City requirements regarding building safety, fire prevention, detection, suppression, emergency access, public right-of-way improvements, parking, water supply and water facilities, sewer facilities, trash reduction and recycling requirements, and National Pollutant Discharge Elimination System (NPDES) measures to the satisfaction of the Building Official, Fire Marshal, Public Works Services Director, and Planning & Community Development Administrator. Compliance with these requirements is to be

determined by having fully detailed construction plans submitted for plan check review and approval by the foregoing City officials and employees.

30. To the maximum extent permitted by law, Applicant must defend, indemnify, and hold City, any departments, agencies, divisions, boards, and/or commissions of the City, and its elected officials, officers, contractors serving as City officials, agents, employees, and attorneys of the City (“Indemnitees”) harmless from liability for damages and/or claims, actions, or proceedings for damages for personal injuries, including death, and claims for property damage, and with respect to all other actions and liabilities for damages caused or alleged to have been caused by reason of the Applicant’s activities in connection with Multiple Family Architectural Design Review No. MFADR 21-04 and Tentative Tract Map No. TTM 21-06 (83604), the Project site, and which may arise from the direct or indirect operations of the Applicant or those of the Applicant’s contractors, agents, tenants, employees or any other persons acting on Applicant’s behalf, which relate to the development and/or construction of the Project. This indemnity provision applies to all damages and claims, actions, or proceedings for damages, as described above, regardless of whether the City prepared, supplied, or approved the plans, specifications, or other documents for the Project.

In the event of any legal action challenging the validity, applicability, or interpretation of any provision of this approval, or any other supporting document relating to the Project, the City will promptly notify the Applicant of the claim, action, or proceedings and will fully cooperate in the defense of the matter. Once notified, the Applicant must indemnify, defend and hold harmless the Indemnitees, and each of them, with respect to all liability, costs and expenses incurred by, and/or awarded against, the City or any of the Indemnitees in relation to such action. Within 15 days’ notice from the City of any such action, Applicant shall provide to City a cash deposit to cover legal fees, costs, and expenses incurred by City in connection with defense of any legal action in an initial amount to be reasonably determined by the City Attorney. City may draw funds from the deposit for such fees, costs, and expenses. Within 5 business days of each and every notice from City that the deposit has fallen below the initial amount, Applicant shall replenish the deposit each and every time in order for City’s legal team to continue working on the matter. City shall only refund to Developer any unexpended funds from the deposit within 30 days of: (i) a final, non-appealable decision by a court of competent jurisdiction resolving the legal action; or (ii) full and complete settlement of legal action. The City shall have the right to select legal counsel of its choice that the Applicant reasonably approves. The parties hereby agree to cooperate in defending such action. The City will not voluntarily assist in any such third-party challenge(s) or take any position adverse to the Applicant in connection with such third-party challenge(s). In consideration for approval of the Project, this condition shall remain in effect if the entitlement(s) related to this Project is rescinded or revoked, whether or not at the request of the Applicant.

31. Approval of MFADR 21-04 and TTM 21-06 (83604) shall not be in effect unless the Property Owner and Applicant have executed and filed the Acceptance Form with the City on or before 30 calendar days after the Planning Commission has adopted the Resolution. The Acceptance Form to the Development Services Department is to indicate awareness and acceptance of the conditions of approval.

PLANNING COMMISSION ACTION

Approval

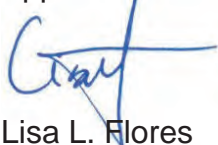
If the Planning Commission intends to approve this project, the Commission should move to approve Multiple Family Architectural Design Review No. MFADR 21-04 and Tentative Tract Map No. TTM 21-06 (83604), state that the proposal satisfies the requisite findings, and adopt the attached Resolution No. 2085 that incorporates the requisite environmental and subdivision findings, and the conditions of approval as presented in this staff report, or as modified by the Commission.

Denial

If the Planning Commission is to deny this project, the Commission should state the specific findings that the proposal does not satisfy based on the evidence presented with specific reasons for denial, and move to deny Multiple Family Architectural Design Review No. MFADR 21-04 and Tentative Tract Map No. TTM 21-06 (83604), and direct staff to prepare a resolution for adoption at the next meeting that incorporates the Commission's decision and specific findings.

If any Planning Commissioner, or other interested party has any questions or comments regarding this matter prior to the December 14, 2021, Planning Commission Meeting, please contact Associate Planner, Vanessa Quiroz at (626) 574-5422, or vquiroz@ArcadiaCA.gov.

Approved:



Lisa L. Flores

Planning & Community Development Administrator

- Attachment No. 1: Resolution No. 2085
Attachment No. 2: Aerial Photo with Zoning Information and Photos of the Subject Property and Vicinity
Attachment No. 3: Historical Evaluation
Attachment No. 4: Tentative Tract Map No. TTM 21-06 (83604)
Attachment No. 5: Architectural Plans
Attachment No. 6: Preliminary Exemption Assessment
Attachment No. 7: Public Comments

Attachment No. 1

Resolution No. 2085

RESOLUTION NO. 2085

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ARCADIA, CALIFORNIA, APPROVING MULTIPLE FAMILY ARCHITECTURAL DESIGN REVIEW NO. MFADR 21-04 AND TENTATIVE TRACT MAP NO. TTM 21-06 (83604) WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA") FOR A TEN-UNIT MULTI-FAMILY RESIDENTIAL CONDOMINIUM DEVELOPMENT AT 1022 LA CADENA AVENUE

WHEREAS, on March 24, 2021, a Multiple Family Architectural Design Review No. MFADR 21-04 application was filed by Philip Chan of PDS Studio, Inc. ("Applicant") on behalf of the property owner, Cambria Sage, LLC., and the Applicant later filed Tentative Tract Map No. TTM 21-06 (83604) on September 14, 2021, for a 10 unit multi-family residential condominium development at 1022 La Cadena Avenue (collectively, the "Project"); and

WHEREAS, on September 20, 2021, Planning Services completed an environmental assessment for the Project in accordance with the California Environmental Quality Act ("CEQA"), and recommends that the Planning Commission determine the Project is exempt under CEQA per Section 15332 of the CEQA Guidelines because the Project is considered an in-fill development project; and

WHEREAS, on December 14, 2021, a duly-noticed public hearing was held before the Planning Commission on said Project, at which time all interested persons were given full opportunity to be heard and to present evidence.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF ARCADIA HEREBY RESOLVES AS FOLLOWS:

SECTION 1. That the factual data submitted by the Community Development Division in the staff report dated December 14, 2021, are true and correct.

SECTION 2. This Commission finds, based upon the entire record:

A. The proposed map, subdivision design, and improvements are consistent with the General Plan, any applicable specific plan, and the Subdivisions Division of the Development Code:

FACT: Approval of the Project to subdivide the airspace is consistent with the High-Density Residential Land Use designation. The High-Density Residential designation is intended to accommodate higher density attached and/or detached housing types for both renter and owner households within a neighborhood context. The R-3 zone is intended to provide areas for a variety of medium-to-high-density residential development including townhomes and condominiums. The Project is in conformance with the City's General Plan, Development Code, and the Subdivision Map Act. The site is physically suitable for this type of development, and the approval of the architectural design for the building is compatible with the scale and character of the existing neighborhood. The Project will not adversely affect the comprehensive General Plan and is consistent with the following General Plan goals and policies:

Land Use and Community Design Element

- Policy LU-1.1: Promote new infill and redevelopment projects that are consistent with the City's land use and compatible with surrounding existing uses.
- Policy LU-4.1: Require that new multi-family residential development be visually and functionally integrated and consistent in scale, mass, and character with structures in the surrounding neighborhood.

B. The site is physically suitable for the type and proposed density of development:

FACT: The R-3 zone has a minimum density of one dwelling unit per 2,200 square feet of lot area, and a maximum density of one unit per 1,450 square feet of lot area. This calculates to a minimum of nine (9) units and a maximum of thirteen (13) units for the subject property. The Project complies with the density requirements per the Development Code. In addition, there are no physical impediments to the development of this site for residential condominiums.

C. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat:

FACT: The Project is a minor subdivision of an infill site within an urbanized area; therefore, it will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

D. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems:

FACT: The Project is to subdivide the air space for a 10 unit multi-family condominium development. The construction of the 10 multi-family residential units is being done in compliance with Building and Fire Codes and all other applicable regulations. The proposed density will be below the maximum allowed by the R-3 zone and the City's existing infrastructure will adequately serve the new development. In addition, the Project meets all health and safety requirements, and will not cause any public health or safety problems.

E. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of, property within the proposed subdivision (This finding shall apply only to easements of records or to easements established by judgement of a court of competent jurisdiction and no authority is hereby granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision):

FACT: The Project does not conflict with any easements acquired by the public at large for access through or use of the property within the proposed subdivision. Based on the tentative tract map, there are no easements on the subject properties. As part of the subdivision, a dedication is required for sidewalk purposes to create a 10 foot parkway along La Cadena Avenue.

F. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements specified by the California Regional Water Quality Control Board:

FACT: The Arcadia Public Works Services Department determined that the City's existing infrastructure will adequately serve the new development, and the requirements of the California Regional Water Quality Control Board will be satisfied.

G. The proposed subdivision, its design, density, and type of development and improvements conforms to the regulation of the Development Code and the regulations of any public agency having jurisdiction by law:

FACT: The Project, as conditioned, complies with the density requirements of the City's Development Code, and all the improvements required for the site and each unit will comply with the regulations in the City's Development Code.

H. The proposal is consistent with the City's Multifamily Residential Design Guidelines:

FACT: The proposed Project is a well thought-out design. The proposed Spanish architectural style of the development includes design elements and features that will not only enhance the overall style of the building, but also the existing streetscape. In order to provide screening and help soften the appearance of the buildings to the adjacent neighbors, staff is requiring more landscaping (i.e. hedges and trees) along the side and rear yard area adjacent to the property line – refer to condition no. 5. The development is compatible in terms of scale and height with other multi-family developments on this street. Therefore, the Project is compatible with the surrounding multi-family developments and is adequate and consistent with the City's Multifamily Residential Design Guidelines.

SECTION 3. Pursuant to the provisions of the California Environmental Quality Act ("CEQA"), this Project is a Class 32 Categorical Exemption as an in-fill development project per Section 15332 of the CEQA Guidelines.

SECTION 4. For the foregoing reasons the Planning Commission determines that the Project is Categorically Exempt under the California Environmental Quality Act ("CEQA") Section 15332, Class 32, and approves Multiple Family Architectural Design Review No. MFADR 21-04 and Tentative Tract Map No. TTM 21-06 (83604) for a 10 unit multi-family residential condominium development at 1022 La Cadena Avenue, subject to the conditions of approval attached hereto.

SECTION 5. The Secretary shall certify to the adoption of this Resolution.


Passed, approved and adopted this 14th day of December 2021.

Marilynne Wilander
Chair, Planning Commission

ATTEST:

Lisa L. Flores
Secretary

APPROVED AS TO FORM:



Stephen P. Deitsch
City Attorney

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RESOLUTION NO. 2085

Conditions of Approval

1. The project shall be developed and maintained by the Property Owner/Applicant in a manner that is consistent with the plans submitted and conditionally approved for MFADR 21-04 and TTM 21-06 (83604), subject to the approval of the Planning & Community Development Administrator, or designee.
2. Any required mechanical equipment, such as backflow devices, visible from the public right-of-way or alley shall be screened from public view. Screening may include landscaping, solid walls or other methods deemed appropriate for the development. The placement and height of said screening shall be subject to review and approval by the Planning & Community Development Administrator, or designee.
3. The Property Owner/Applicant shall dedicate additional right-of-way along La Cadena Avenue frontage for a total half street width of 30 feet measured from the centerline of the street and a 10 foot parkway. This dedication shall be shown on the Final Tract Map.
4. Prior to submitting the plans to the Building Division for plan-check review, the Applicant/Property owner shall submit revised plans to the Planning Division that shows a new perimeter stucco wall, up to six (6) feet in height, along the side and rear property line. The new wall be placed at least two inches inside the property lines. The building footprints might have to be reduced to accommodate the new wall and landscaping, as required under condition no. 5. The final changes shall be subject to review and approval of the Planning & Community Development Administrator, or designee.
5. Prior to submitting the plans to the Building Division for plan-check review, the conceptual landscaping plan shall be submitted to the Planning Division for final review and approval by the Planning & Community Development Administrator, or designee. The final conceptual landscape plans shall include tall hedges and trees along the sides and rear of the project site to provide adequate screening and help soften the appearance of the building. The building footprints might have to be reduced to accommodate the hedges and trees to ensure they have proper spacing for growth.
6. The second floor windows on the east elevation of Building #5 (Units I and J), shall be reduced from three to two windows.
7. Prior to approval of the Final Tract Map, the Property Owner/Applicant shall either construct or post security for all public improvements as shown on the Tentative Tract Map No. 83604 and listed below:
 - a. Remove and replace the existing sidewalk, curb, and gutter along the entire property frontage.
 - b. Construct a sidewalk from property line to property line. The sidewalk must be fully ADA around all obstacles.

- c. The new driveway shall be installed per City Standard plan with the top of the wing at a minimum of one foot away from the property line.
8. Prior to the issuance of the Certificate of Occupancy, the Property Owner/Applicant shall repair any damages caused by the development to the asphalt street frontage from property line to property line including but not limited to trench cuts and construction traffic, per the direction of the City Engineer or Designee.
9. The project shall comply with the latest adopted edition of the following codes as applicable:
 - a. California Building Code
 - b. California Residential Code
 - c. California Electrical Code
 - d. California Mechanical Code
 - e. California Plumbing Code
 - f. California Energy Code
 - g. California Fire Code
 - h. California Green Building Standards Code
 - i. California Existing Building Code
 - j. Arcadia Municipal Code
10. The project shall comply with Arcadia Municipal Code Section 8130.20 which pertains to Chapter 35: A Multiple Family Construction Standards of the California Building Code.
11. The grading plans for the project shall be submitted for the review and approval of the Building Division prior to the issuance of a building permit. The grading plans shall indicate all site improvements and shall indicate complete drainage paths of all drainage water run-of.
12. No demolition permit shall be issued prior to the issuance of a building permit for the new development.
13. All utility conductors, cables, conduits and wiring supplying electrical, cable and telephone service to a multiple family building shall be installed underground except risers which are adjacent to and attached to a building.
14. All structures shall be provided with an automatic fire sprinkler system per the City of Arcadia Fire Department Multi-Family Dwelling Sprinkler Standards.
15. Prior to the issuance of a Certificate of Occupancy, a 20 foot wide fire lane shall be provided along the south side of the property that will extend from the site entry to within 150 feet of the furthest point of the furthest building.
16. Prior to the issuance of a Certificate of Occupancy, a Knox switch shall be provided for the vehicular entry gate.
17. The development shall utilize an 8-inch Vitrified Clay Pipe (VCP) City-owned sewer main is available on La Cadena Avenue.
18. The Property Owner/Applicant shall utilize existing sewer lateral, if possible.

19. If any drainage fixture elevation is lower than the elevation of next upstream manhole cover (463.82'), an approved backwater valve is required.
20. An eight inch (8") cast iron water main with 67 psi static pressure is available on La Cadena Avenue to serve the subject site. The Property Owner/Applicant shall provide calculations to determine total combined maximum domestic and fire demand, and verify the required water service size required.
21. The Property Owner/Applicant shall install a master common domestic water meter that is capable of supplying sufficient water to meet all domestic and fire suppression need for all of the units.
22. In the event that fire suppression is common to the complex, the Property Owner/Applicant shall separate the fire service with a Double Detector Check Assembly (DCDA) and shall be installed as directed by the Fire Marshal.
23. If a common water service is to be used to supply both domestic water and fire sprinklers, the Property Owner/Applicant shall separate the fire service from the domestic water service for each unit with an approved backflow device.
24. All condominium units shall require a separate water service and meter for common area landscape irrigation.
25. The Property Owner/Applicant shall submit a Water Meter Clearance application to the Public Works Services Department prior to permit issuance.
26. The Property Owner/Applicant shall install a new water service according to the specifications of the Public Works Services Department, Engineering Division. Abandonment of existing water services, if necessary, shall be carried out by the Property Owner/Applicant, according to Public Works Services Department, Engineering Division specifications.
27. The Property Owner/Applicant shall integrate Low Impact Development (LID) strategies into the site design per the County of Los Angeles 2014 standards manual to the City Engineer prior to the issuance of a building permit.
28. The Property Owner/Applicant shall install a trash enclosure with a one-foot clearance around all bins, including but not limited to trash and recycling bins to the satisfaction of the Public Works Services Director, or designee.
29. The Property Owner/Applicant shall comply with all City requirements regarding building safety, fire prevention, detection, suppression, emergency access, public right-of-way improvements, parking, water supply and water facilities, sewer facilities, trash reduction and recycling requirements, and National Pollutant Discharge Elimination System (NPDES) measures to the satisfaction of the Building Official, Fire Marshal, Public Works Services Director, and Planning & Community Development Administrator. Compliance with these requirements is to be determined by having fully detailed construction plans submitted for plan check review and approval by the foregoing City officials and employees.
30. To the maximum extent permitted by law, Applicant must defend, indemnify, and hold City, any departments, agencies, divisions, boards, and/or commissions of the City, and its elected officials, officers, contractors serving as City officials, agents,

employees, and attorneys of the City (“Indemnitees”) harmless from liability for damages and/or claims, actions, or proceedings for damages for personal injuries, including death, and claims for property damage, and with respect to all other actions and liabilities for damages caused or alleged to have been caused by reason of the Applicant’s activities in connection with Multiple Family Architectural Design Review No. MFADR 21-04 and Tentative Tract Map No. TTM 21-06 (83604), the Project site, and which may arise from the direct or indirect operations of the Applicant or those of the Applicant’s contractors, agents, tenants, employees or any other persons acting on Applicant’s behalf, which relate to the development and/or construction of the Project. This indemnity provision applies to all damages and claims, actions, or proceedings for damages, as described above, regardless of whether the City prepared, supplied, or approved the plans, specifications, or other documents for the Project.

In the event of any legal action challenging the validity, applicability, or interpretation of any provision of this approval, or any other supporting document relating to the Project, the City will promptly notify the Applicant of the claim, action, or proceedings and will fully cooperate in the defense of the matter. Once notified, the Applicant must indemnify, defend and hold harmless the Indemnitees, and each of them, with respect to all liability, costs and expenses incurred by, and/or awarded against, the City or any of the Indemnitees in relation to such action. Within 15 days’ notice from the City of any such action, Applicant shall provide to City a cash deposit to cover legal fees, costs, and expenses incurred by City in connection with defense of any legal action in an initial amount to be reasonably determined by the City Attorney. City may draw funds from the deposit for such fees, costs, and expenses. Within 5 business days of each and every notice from City that the deposit has fallen below the initial amount, Applicant shall replenish the deposit each and every time in order for City’s legal team to continue working on the matter. City shall only refund to Developer any unexpended funds from the deposit within 30 days of: (i) a final, non-appealable decision by a court of competent jurisdiction resolving the legal action; or (ii) full and complete settlement of legal action. The City shall have the right to select legal counsel of its choice that the Applicant reasonably approves. The parties hereby agree to cooperate in defending such action. The City will not voluntarily assist in any such third-party challenge(s) or take any position adverse to the Applicant in connection with such third-party challenge(s). In consideration for approval of the Project, this condition shall remain in effect if the entitlement(s) related to this Project is rescinded or revoked, whether or not at the request of the Applicant.

31. Approval of MFADR 21-04 and TTM 21-06 (83604) shall not be in effect unless the Property Owner and Applicant have executed and filed the Acceptance Form with the City on or before 30 calendar days after the Planning Commission has adopted the Resolution. The Acceptance Form to the Development Services Department is to indicate awareness and acceptance of the conditions of approval.

Attachment No. 2

Aerial Photo with Zoning Information
and Photos of the Subject Property
and Vicinity

Site Address: **1022 LA CADENA AVE**

Property Owner(s): **CAMBRIA SAGE LLC**



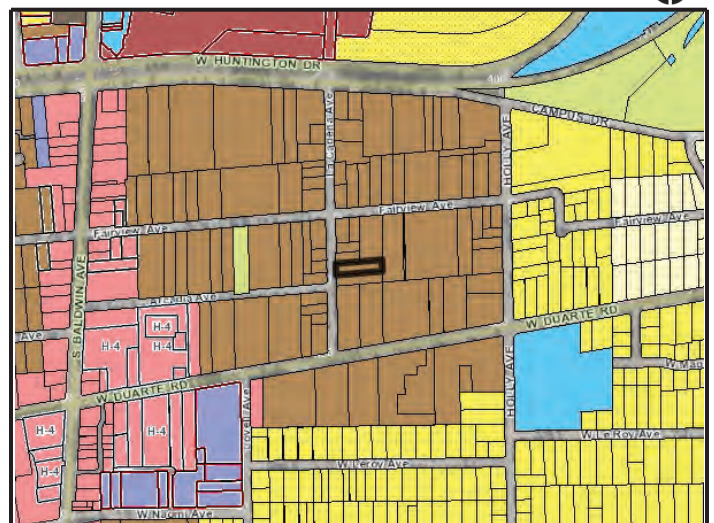
Property Characteristics

| | |
|---|--------|
| Zoning: | R-3 |
| General Plan: | HDR |
| Lot Area (sq ft): | 20,848 |
| Main Structure / Unit (sq. ft.): | 1,556 |
| Year Built: | 1926 |
| Number of Units: | 2 |

Overlays

| | |
|--------------------------------------|-----|
| Architectural Design Overlay: | N/A |
| Downtown Overlay: | N/A |
| Downtown Parking Overlay: | N/A |
| Parking Overlay: | N/A |
| Racetrack Event Overlay: | N/A |
| Residential Flex Overlay: | N/A |
| Special Height Overlay: | N/A |

Selected parcel highlighted



Parcel location within City of Arcadia



Subject Site: 1022 La Cadena Avenue



Neighboring Site to the south at 1026 La Cadena Avenue



Neighboring Site to the south at 487 W. Duarte Road



Neighboring Site across the street at 1111-1117 La Cadena Avenue



Neighboring Site across the street at 1103 La Cadena Avenue



Neighboring Site across the street at 1033 La Cadena Avenue





Neighboring Site to the north at 1018 La Cadena Avenue



Neighboring Site to the north at 1016 La Cadena Avenue



Neighboring Site to the north at 480 Fairview Avenue

Attachment No. 3

Historical Evaluation

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or # (assigned by recorder) 1022 La Cadena Avenue (Main Residence)

B1. Historic Name: Jeppe C. and Maura B. Jensen Residence

B2. Common Name: 1022 La Cadena Avenue

B3. Original Use: SFR

B4. Present Use: MFR

*B5. Architectural Style: Vernacular California Bungalow (altered)

*B6. Construction History: (Construction Date, Alterations, and dates of Alterations) **Reported to have been built in 1926-1927 by Jensen, the owner of Lots 25 and 26. Construction also included a garage (not on permits) and likely other outbuildings. See Continuation Sheets for additional details.**

*B7. Moved? No Yes Unknown Date: Original Location:

*B8. Related Features: Detached garage; driveway; shed (chicken coop); large barn/workshop with attached office; covered patio with BBQ (+); second dwelling constructed in 1944; modest landscaping

B9a. Architect: None Recorded

B9b. Builder: None Recorded

*B10. Significance: Theme: Rural Development Area: City of Arcadia

Period of Significance: 1925-1944 Property Type: MFR Applicable Criteria: **NONE**

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope.

Also address integrity.) **This area of Arcadia was subdivided for rural developments in 1920 and the subdivision consisted of relatively large lots outside the core area of Arcadia and designed for light commercial uses (e.g., poultry or farming) with associated residential development. In this case, the improvements date to 1925 with the owner purchasing at least two lots, construction a residence and garage and being involved in the poultry business. It is likely the property has additional structures that were removed or relocated when these properties were subdivided for later developments (ca. 1960s). The lots were designed to allow additional construction, as needed. Following WWII, many of the larger properties were subjected to subdivision by the owners and not necessarily through the filing of subdivision maps. Based on varying dates of construction, defining this particular property was problematic, as some data was not available (Assessor records for pre-1965). With the various changes, McKenna et al. concluded this is an vernacular residence was originally a clapboard bungalow – now encased in modern stucco.**

B11. Additional Resource Attributes: (List Attributes and Codes) **NONE**

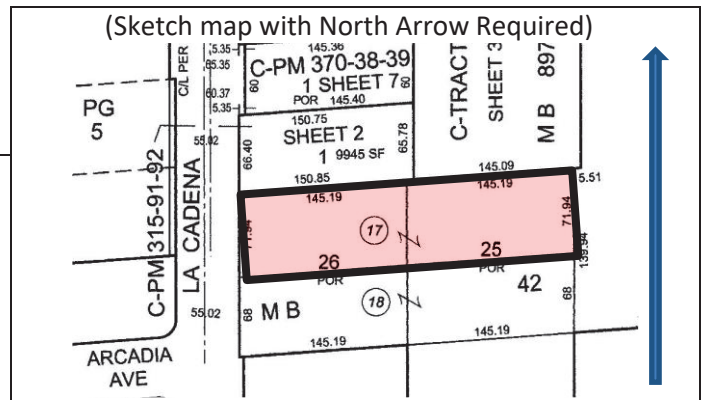
*B12. References: McKenna, Jeanette A. (2021)

B13. Remarks: Likely to be redeveloped

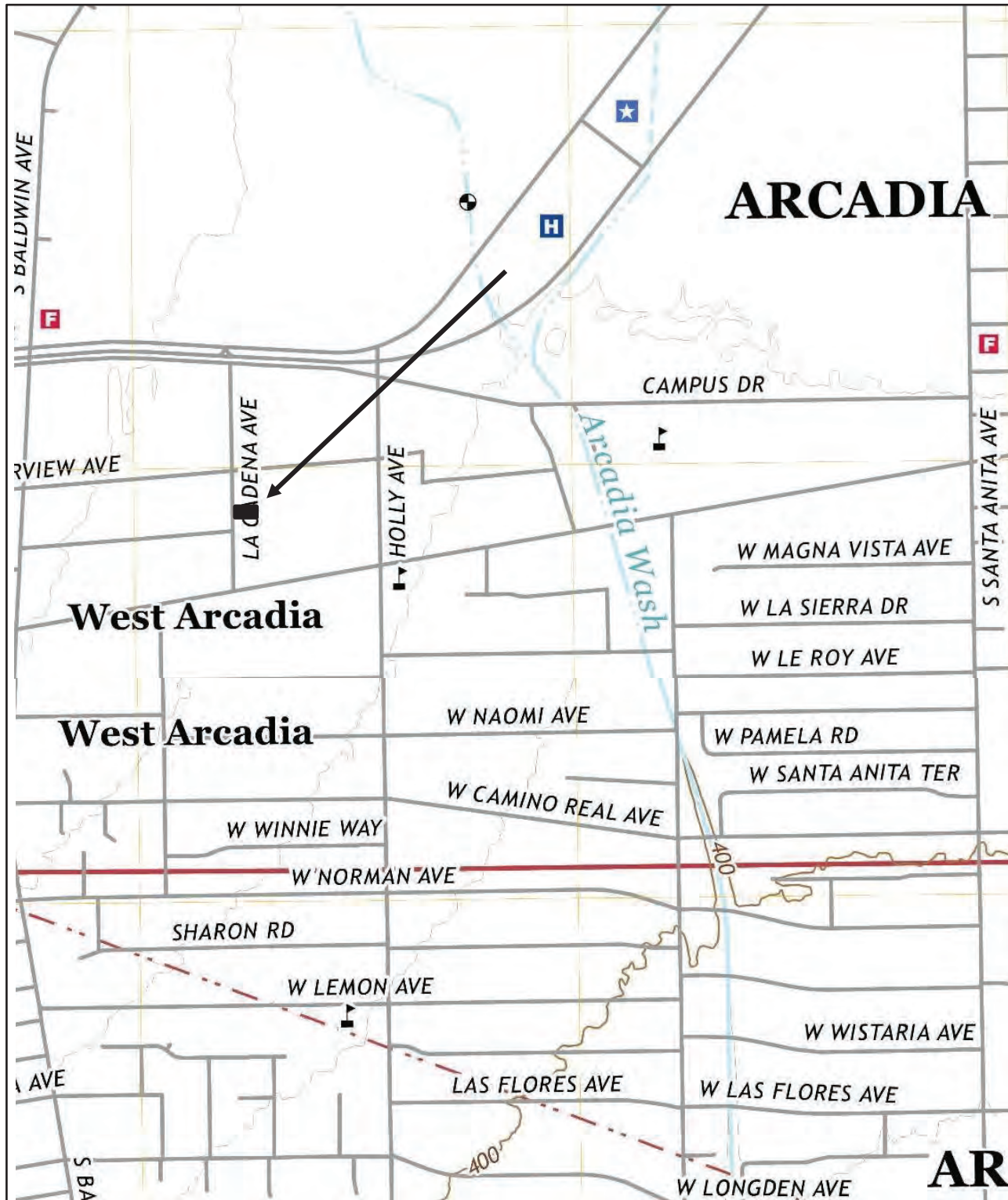
*B14. Evaluator: Jeanette A. McKenna, Principal

*Date of Evaluation: March 25, 2021

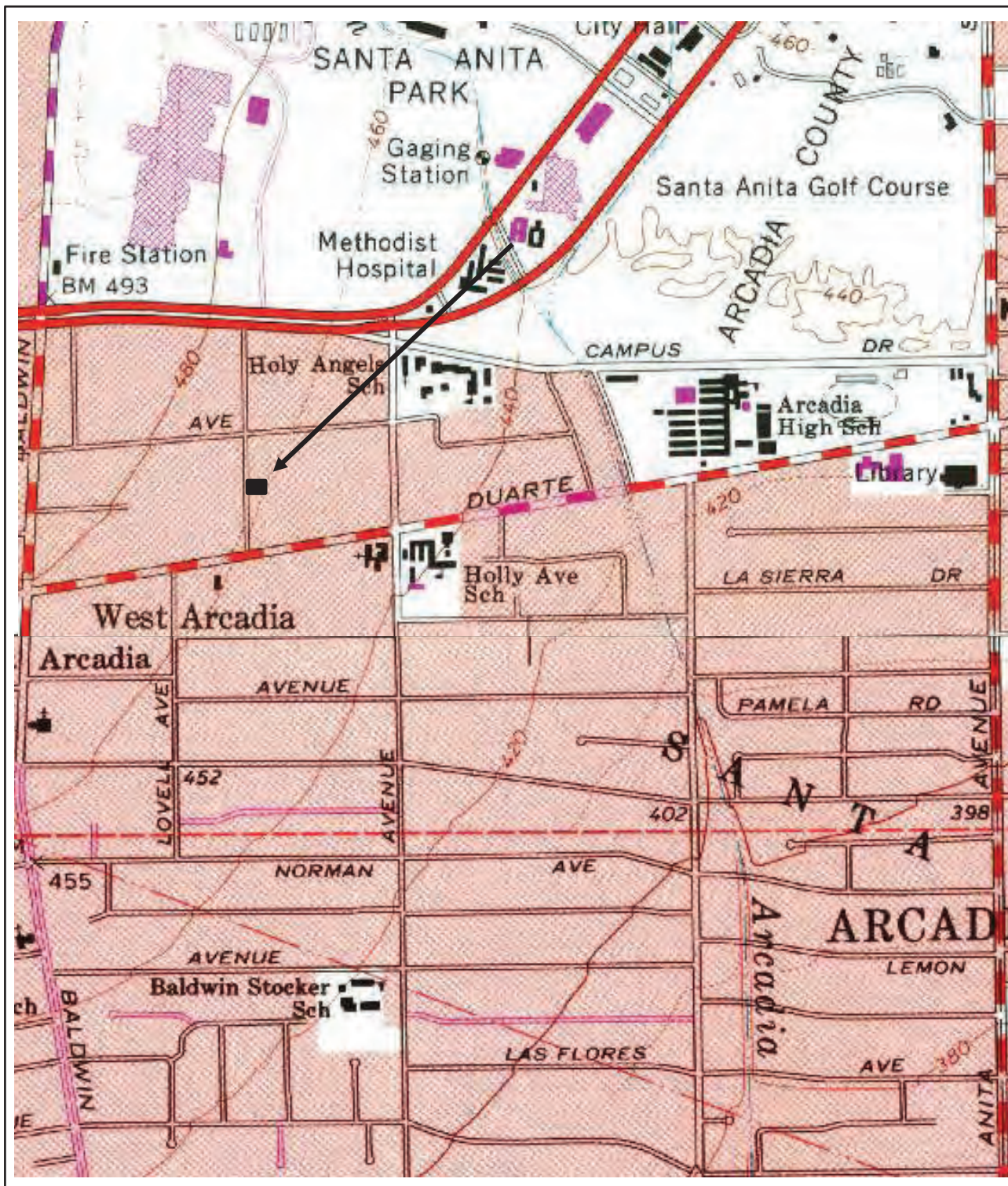
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LOCATION MAP



LOCATION MAP



State of California
 DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
 HRI #
 Trinomial

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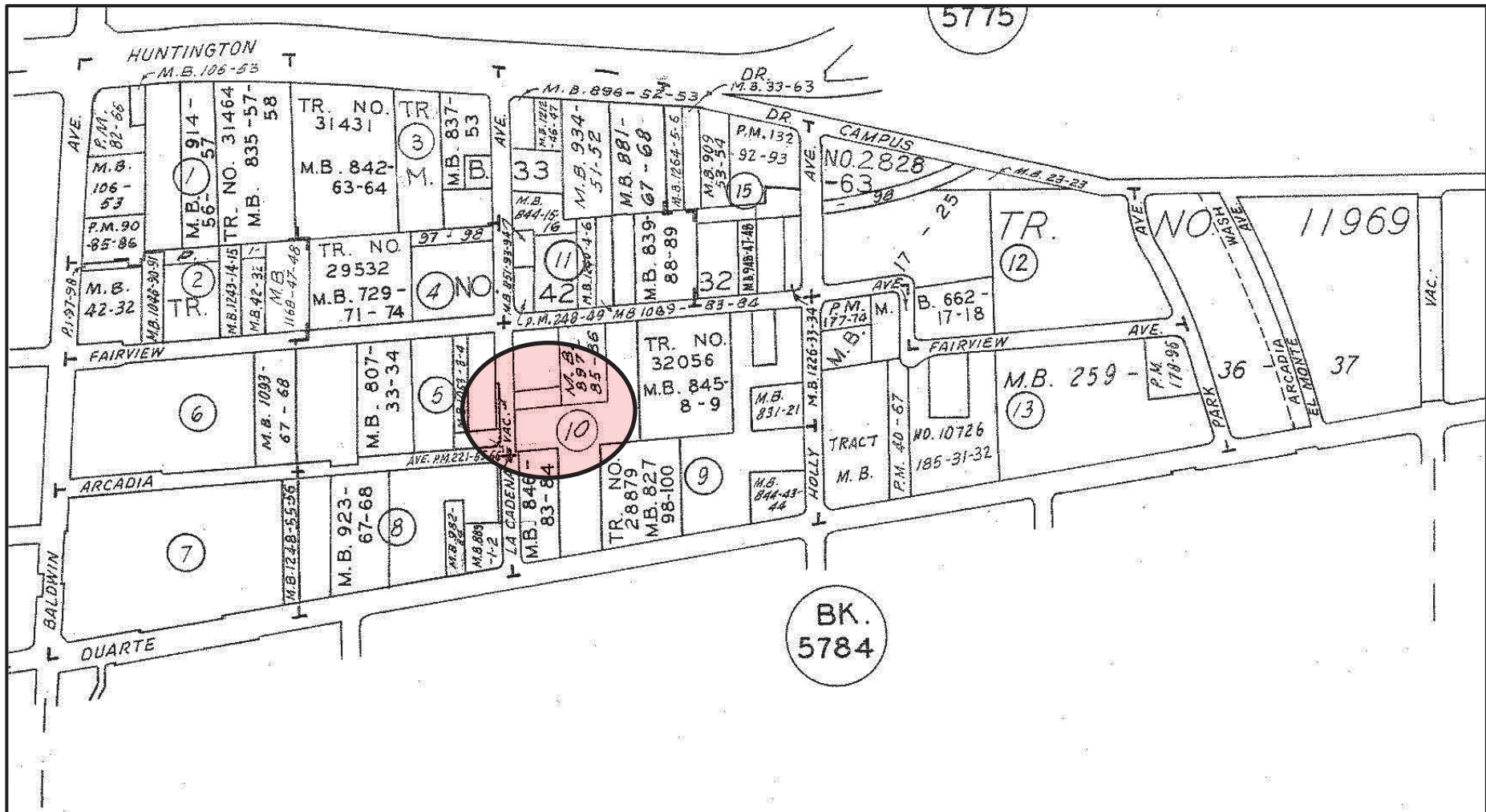
*Resource Name or # (assigned by recorder) 1022 La Cadena Avenue, Arcadia, CA

Recorded by: Jeanette A. McKenna, McKenna et al., Whittier, CA

*Date: March 25, 2021

X Continuation

Update



CONTINUATION SHEET

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*Resource Name or # (assigned by recorder) 1022 La Cadena Avenue, Arcadia, CA

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*Date: March 25, 2021

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Update



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DEPARTMENT OF PARKS AND RECREATION
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*Resource Name or # (assigned by recorder) 1022 La Cadena Avenue, Arcadia, CA

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Update



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 DEPARTMENT OF PARKS AND RECREATION
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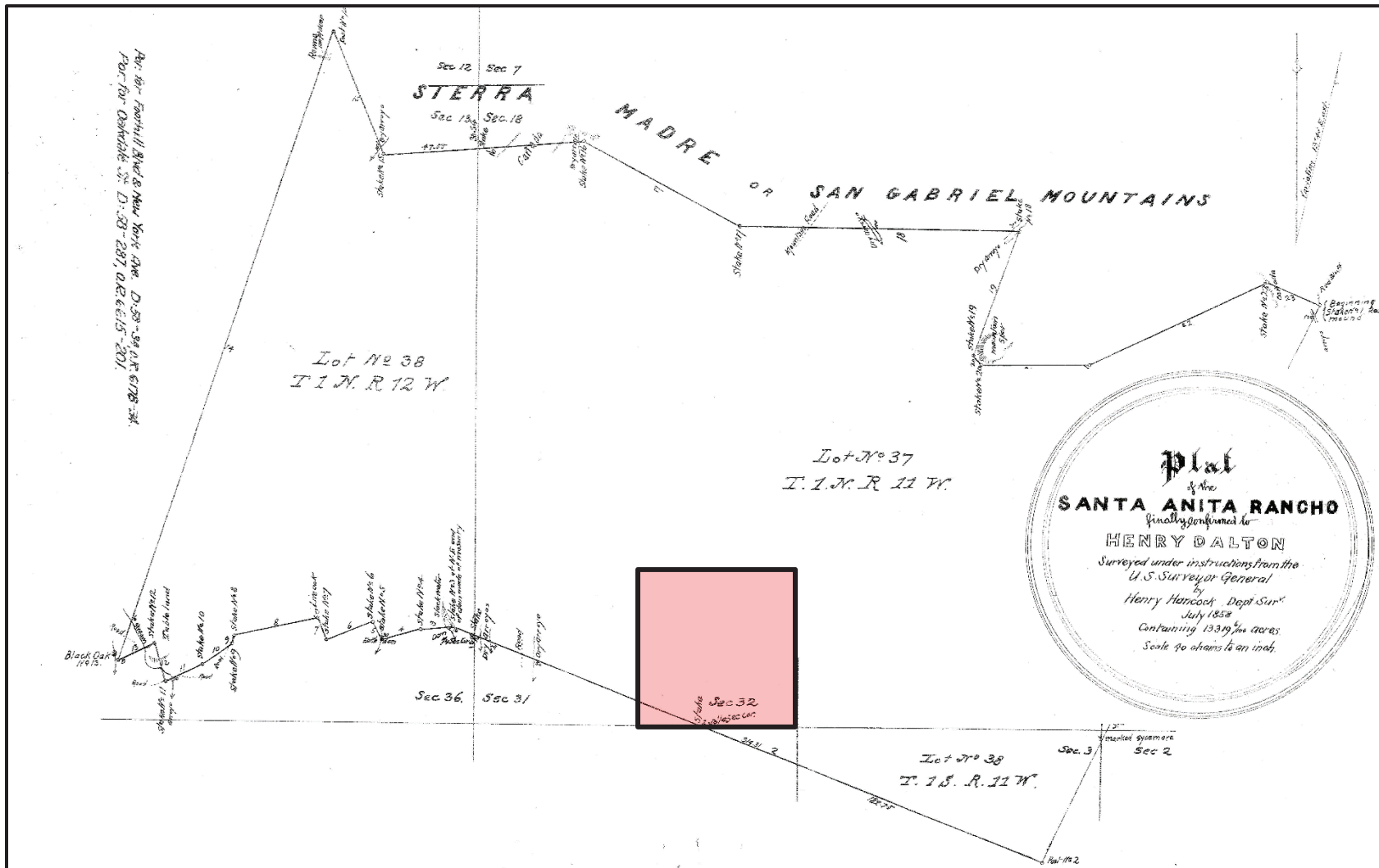
Recorded by: Jeanette A. McKenna, McKenna et al., Whittier, CA

*Date: March 25, 2021

X Continuation

Update

Rancho Santa Anita (1858)



State of California
 DEPARTMENT OF PARKS AND RECREATION
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X Continuation

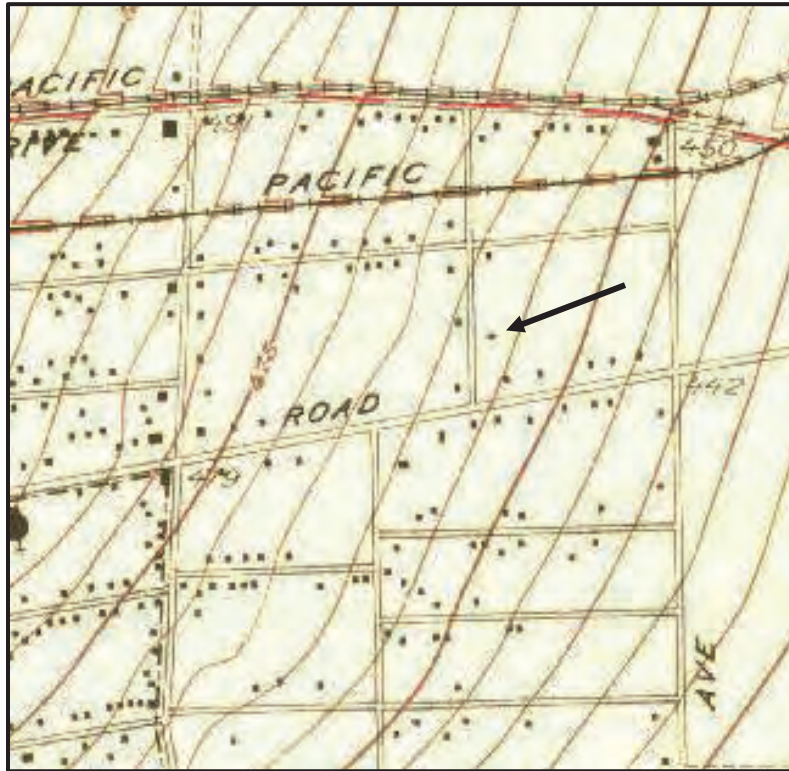
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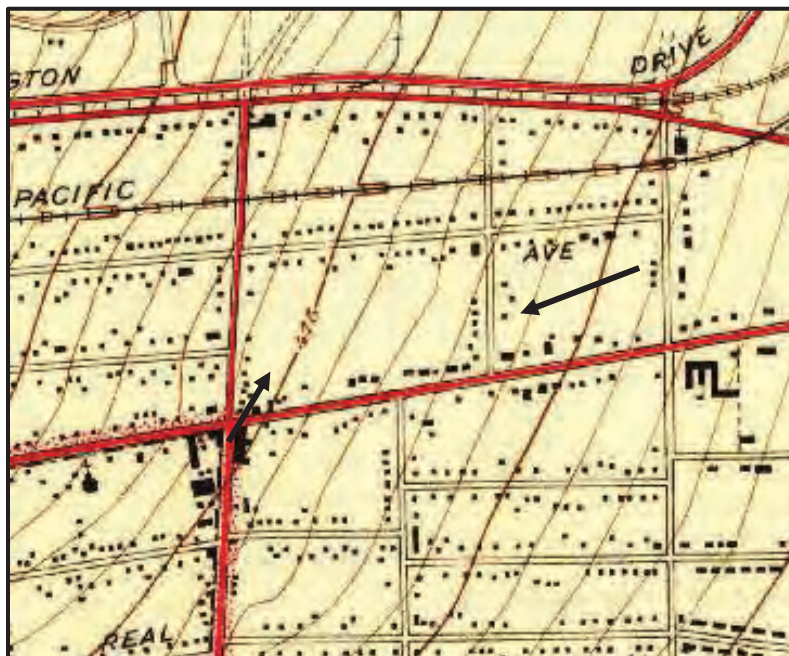
State of California
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

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Recorded by: Jeanette A. McKenna *Date: Feb. 15, 2021 X Continuation Update



1928 Sierra Madre Quad



1941 Sierra Madre Quad

SKETCH MAP

Primary #

HRI #

Trinomial

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*Resource Name or # (assigned by recorder) 1022 La Cadena Avenue, Arcadia, CA

Drawn by: Jeanette A. McKenna, McKenna et al., Whittier CA

*Date March 25, 2021



Property depicted is only a small portion of the holdings dating between 1925 and ca. 1960. Property once extended to north and south and consisted of two lots (25 and 26) within Tract No. 3430 (mapped in 1920).

CONTINUATION SHEET

Primary #

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Page 16 of 151 *Resource Name or # (assigned by recorder) 1022 La Cadena Avenue, Arcadia, CA

Recorded by: Jeanette A. McKenna

*Date March 25, 2021

 Continuation Update

The property at 1022 La Cadena Avenue, Arcadia, Los Angeles County, California, is cross-referenced by the L.A. Co. Assessor as APN 5778-010-017. This property is rectangular with a north/south width of 71.94 feet and an east/west length of 290.38 feet (20,790 square feet). This lot is almost three times the size of a standard single family residential lot by today's standards. The residence on this property is located on the east side of La Cadena Avenue and just northeast of the eastern terminus of Arcadia Avenue. The Assessor describes the improvements as consisting of a multi-family residential property with initial improvements completed in 1926-1927 (4 beds/1 bath; 1556 sq. ft.) and supplemental improvements in 1944 (1 bed/1 bath; 660 sq. ft).

Research confirmed this property was originally located with the southern portion of the historic Rancho Santa Anita and just north of the boundary with the Rancho San Francisquito. This property is also within Township 1 North; Range 11 West; and the SE ¼ of the NE ¼ of Section 32. Prior to the identification of the rancho, this area was under the general jurisdiction of the Mission San Gabriel de Arcangel. The Rancho Santa Anita was originally confirmed to Henry Dalton in ca. 1858; p/o Lot No. 37. McAdam and Snider 1981:17) present a chronology for the Rancho, listing the owners as:

- 1771-1834 Part of the Mission San Gabriel holdings (Spanish Period)
- 1834 Secularization of the Missions completed (Mexican Period)
- 1837 Hugo Reid (1810-1852) marries Bartholomea (Victoria) in California
- 1838 Rancho Huerta de Cuati granted to Victoria Reid (1808-1868)
- 1839 Hugo Reid petitions for Rancho Santa Anita (13,319 acres)
- 1840 Hugo Reid builds his adobe at rancho Santa Anita
- 1845 Pio Pico confirms grant to Hugo Reid
- 1847 Hugo Reid sells Rancho Santa Anita to Henry Dalton
- 1854 Henry Dalton sells to Joseph Rowe
- 1857 Joseph Rowe sells to "Dibblee and Corbitt"
- 1868 Dibblee and Corbitt sell 2000 acres to Leonard Rose
- 1868 Dibblee and Corbitt sell 11,319 acres to William Wolfskill
- 1869 Louis Wolfskill (William's heir) sells 1740 acres to Alfred Chapman
- 1872 Louis Wolfskill sells 8000 acres to Harris Newmark (of Los Angeles)
- 1875 Harris Newmark sells to Elias Jackson Baldwin (1828-1909)
- 1909-1936 Rancho Santa Anita owned by E.J. Baldwin heirs (i.e., daughters)
- 1939 Anita Baldwin (1876-1939) dies in Arcadia

CONTINUATION SHEET

Primary #

HRI #

Trinomial

Page 17 of 151 *Resource Name or # (assigned by recorder) 1022 La Cadena Avenue, Arcadia, CA

Recorded by: Jeanette A. McKenna

*Date March 25, 2021

 Continuation Update

As noted, the Rancho Santa Anita had many owners following secularization – eight between 1945 and 1875. No significant improvements (with the exception of the Hugo Reid Adobe and the rancho headquarters) were noted during these 30 years. In 1875, Elias J. Baldwin, while still living in San Francisco, purchased the rancho and visited the property, improved the adobe, and began making substantial plans transforming the rancho into a profitable investment.

In 1891, Baldwin filed the “Map of the Santa Anita Colony.” This mapped area was bounded by Duarte Road (north); Azusa Road (south; now Live Oak Avenue); Second Avenue (east) and El Monte Avenue (west) – bisected by Santa Anita Avenue. The area due west of the Santa Anita Colony was not mapped until 1910, then Tract Nos. 950 and 951 were filed at the request of the heirs of Elias J. Baldwin (the E.J. Baldwin Estate; his daughters and their legal representatives). Tract No. 951 was bounded by Duarte Road (north); Baldwin Avenue (west); El Monte Avenue (east); and the “E.J. Baldwin’s Addition No. 1 to Santa Anita Colony” to the south. Tract No. 950 was bounded by Duarte Road (south), the Pacific Electric Railway (north); the City of Arcadia Boundary (west), and Santa Anita Avenue (east). This tract consisted of four lots of various sizes and the current project area is within the boundaries of Lot 3, a 151.39 acre lot in the southeastern portion of the Tract. This Tract remained undivided until ca. 1920, when Tract No. 3430 was filed at the request of Anita M. Baldwin (E.J. Baldwin’s daughter), Rudolph H. Schwarzkopf, and Otto E. Winkler, representing the Elias J. Baldwin Estate.

As mapped, this Tract was bounded by Duarte Road (south), Baldwin Avenue (west), the Southern Pacific Railroad R-O-W (north), and Holly Avenue (east). The subdivision consisted of the identification of 55 individual properties with two interior roadways – Fairview Avenue and La Cadena Avenue. Arcadia Avenue was not yet mapped or planned. When mapped, the northern extension of La Cadena Avenue (north of the railroad) was identified as El Molino Avenue. No evidence was found to suggest La Cadena Avenue was even known as El Molino Avenue.

The County Assessor defines the current project area as “Tract # 3430 N 71.94 ft of S 139.94 ft measured on E and W lines of Lot 25 and Lot 26.” Lots 25 and 26 were originally defined as north/south trending properties with Lot 26 fronting La Cadena Avenue (southeast of Fairview Avenue and La Cadena Avenue) and Lot 25 being to the east of Lot 26. Each of these lot measured 145.19 ft (east/west) and 419.94 ft (north/south). The southern boundary of these lots is now equated with the alignment of Arcadia Avenue (west of La Cadena Avenue). As a 1920 subdivision, no improvements within the area are likely to pre-date 1920.

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A review of improvements along La Cadena Avenue, from Duarte Road to Fairview Avenue, yielded the following dates for improvements:

| West Side of La Cadena Ave. | Dates | East Side of La Cadena Ave. | Dates |
|-----------------------------|--------------|------------------------------|------------------|
| 503 Fairview Avenue (MFR) | 1962 | 918 La Cadena Ave. (MFR) | 1991 |
| 1001 La Cadena Avenue (MFR) | 1965 | 1000 La Cadena Ave. (MFR) | 1963 |
| 1011 La Cadena Avenue (SFR) | 1951 | 1016 La Cadena Ave. (MFR) | 2011-2012 |
| 1025 La Cadena Ave. (MFR) | 1951-1957 | 1018 La Cadena Ave. (MFR) | 2003 |
| 1033 La Cadena Ave. (MFR) | 1990 | 1022 La Cadena Ave. (MFR) | 1926-27; 1944 |
| 1103 La Cadena Ave. (SFR) | 1973 | 1026 La Cadena Ave. (MFR) | 1964 |
| 1111-1117 La Cadena Ave. | Under Const. | 1102 La Cadena Ave. (MFR) | 1974 |
| 503 W. Duarte Road (MFR) | 1979 | 479-489 W. Duarte Road (MFR) | 1974 |

As presented above, it is evident this area along La Cadena Avenue has been subjected to a significant amount of redevelopment and properties that were originally designed to be larger, albeit SFR properties, were redeveloped as MFR properties beginning in the 1960s and continuing until recently. Of the three remaining pre-1951 improvements, only one is identified as a single family residential property. The other two (including the current project area) were originally single family properties but are now multi-family (two residences each).

It is also noted, the properties at 1000 to 1026 La Cadena Avenue were originally part of Lots 25 and 25 of Tract No. 3430. The dates of construction indicate these lots were subdivided by 1963-1964 (possibly earlier) with two redevelopments, followed by additional redevelopments between 2003-2012. The improvements at 1022 La Cadena Avenue and the earliest for the east side of La Cadena and the only pre-1963 improvements remaining on the block.

Research into directories, voter listings, and permits resulted in the identification of the following owners/occupants of 1022 La Cadena Avenue:

- 1926-1930+ Jeppe and Laura Jensen* (poultry farmer)
- 1937-1938 Walter R. and Ida (sp.) Siewart (teacher)
- 1939-1942 Walter R. and Grace (dau.) Siewert (principal)

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| | |
|-----------|--|
| 1944-1945 | Jack and Tommy Hutchinson (café owner) (no rear dwelling listed) |
| 1945-1958 | Kenneth and Pearl Nitzkowski (bartender) Edward Nitzkowski (rear) |
| 1960-1961 | Mrs. Frankie F. Brill Phyllis D. Carter (rear) |
| 1962-1965 | William E. and Bette Lee Wall (div. 1968) Charles Christopher (rear; draftsman) |
| 1965-1993 | [UNKNOWN] |
| 1993-2020 | Kenneth and Charlotte Pitzer (design engineer) |

(* = The Jensens have also been associated with property on W. Duarte Road, indicating they had more property than the two lots on La Cadena Avenue.)

The permit file for 1022 La Cadena Avenue was limited but included the following:

| | | |
|------|------------------------|--|
| 1926 | Jeppe and Laura Jensen | Original Construction of Dwelling (and Garage) |
| 1939 | W.R. Siewert | Addition to Dwelling |
| 1944 | J. Hutchinson | Construction of 2 nd Dwelling |
| 1945 | K. Nitzkowski | Installation of Kitchen Range and Cesspool Abandonment/Sewer Connection |

As indicated, any additional improvements by the Jensens were completed without permits. Aerial photographs, however, show there were additional improvements, as do early USGS maps. As illustrated on the maps presented on Page 14 of this record, a single structure (residence) is illustrated in 1928 (Jensen ownership) and three structures are illustrated by 1948 (Nitzkowski ownership period). The two northern structures would be in areas now redeveloped with modern MFR improvements. Additional structures at 1022 La Cadena Avenue are not depicted on the maps although they are present on the aerial photos (with similar structures to the south – also Jensen property).

Jeppe Christian Jensen (1878-1954) was a native of Denmark who immigrated to the U.S. in ca. 1923 through Canada. In 1920, Jensen was a naturalized Canadian. In 1923, he entered the U.S. via Idaho and migrated south, to the Los Angeles basin. In 1924 he married Laura B. Larkin in Los Angeles and, shortly thereafter, purchased the two lots in Arcadia (Lots 25 and 26

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of Tract No. 3430). Here, the Jensens established a poultry farm/ranch with improvements on the southern portion of both lots. When the settled on La Cadena Avenue their property extended from Fairview Avenue (north) to the mid-line extension of the future Arcadia Avenue. While La Cadena Avenue was established in 1920, the Jensen property was not referred to by number as fronting La Cadena Avenue. The residence constructed at present-day 1022 La Cadena Avenue did/does face La Cadena Avenue, as did the improvements to the south, 1026 La Cadena Avenue.

Jeppe and Laura Jensen are credited with the construction of the residence and poultry farm at 1022 La Cadena Avenue, as referenced in their building permit. However, by 1928, the Jensens are listed as living at 652 W. Duarte Road (also a poultry farm) and no longer at the La Cadena Avenue address. This suggests the Jensens sold the La Cadena Avenue property or had the property occupied by someone other than themselves (possibly a caretaker/poultry worker). Data suggest they may have sold the La Cadena Avenue property around 1935-1936. They remained at 652 W. Duarte Road until the early 1950s, when they had relocated to Los Angeles. Jeppe Jensen died in 1954 and Laura Jensen died in 1961 – both in Los Angeles. They had no children.

From ca. 1937 to approximately 1942-1943, the property at 1022 La Cadena Avenue was owned and occupied by the Walter R. Siewert family. Walter Siewert was a teacher/Vice Principal/Principal in the Pasadena school system and lived at the La Cadena Avenue address with his wife (Ida) and two children (David and Grace). At the time of their occupation only one residence was identified on the property, but both Lots 25 and 26 were still held as a single property. In 1939, the Siewerts added to the residence (no description specified), but the improvement can be seen on the southeastern corner of the residence, where a small wing was added to the structure, along with another entrance. The also constructed a “shed” in 1939. After 1943 the Siewerts relocated to Pasadena and nearer Walter Siewert’s assigned school.

For a brief period (ca. 1944-1945) the property was owned by a “J. Hutchinson.” Hutchinson purchased Lots 25 and 26. Little is known of Hutchinson other than to associate him with Marion and Tommye Hutchinson. Tommye Hutchinson was the owner of “Tommye’s Kitchen” in Arcadia (on Holly Avenue) and [apparently] the wife of “Jack” Hutchinson. The Hutchinsons are credited with the construction of the second residence at 1022 La Cadena Avenue (built by H.J. Miller in 1944) and “Jack & Tom 1944” is incised in the concrete adjacent to the office on the property. Also incised in the concrete is “John and Helene.”

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“John and Helene” have been identified as John and Helena Bostrom, the owners of 1026 La Cadena Avenue between 1944 and 1955. John Bostrom was a letter carrier for the U.S. Post Office, moved onto his property the same year Hutchinson purchased 1022 La Cadena Avenue – indicating this was the first time the properties within Lots 25 and 26 were subdivided and sold separately. As neighbors, the two families incised their names when the concrete was poured in 1944.

The Hutchinsons sold the property at 1022 La Cadena Avenue in 1945 to Kenneth L. (1907-199) and Pearl (1905-1996) Nitzkowski. The Nitzkowski family occupied the property from 1945 until 1958-1959. With the completion of the Hutchinson’s second residence on the property, the “rear” house was occupied by Edward Nitzkowski (father of Kenneth – 1882-1957). Edward Nitzkowski lost his wife in 1943 and moved to California to live with his son.

A 1948 aerial photograph of the property illustrated the presence of the original residence, second residence, garage, covered patio, office, large barn, and elongated wing to the east of the barn. These improvements mirrored those of the property to the south (1026 La Cadena Avenue) and appear to be associated with the improvements dating to ca. 1944 (by both the Hutchinsons and Bostroms).

Kenneth Nitzkowski had been living in Southern California, but married Pearl in Michigan in 1944 and they returned to Southern California the same year. Kenneth L. Nitzkowski worked as a bartender. There were no records found to indicate the Nitzkowskis had children.

Following the death of Edward Nitzkowski, Kenneth and Pearl sold the property to Mrs. Frankie F. Brill, who occupied the main residence (1960-1961). The rear residence was occupied by Phyllis D. Carter. Frankie Brill was the wife of John Stanley Brill (lawyer; 1910-2006), but was not living with her husband on La Cadena Avenue. Phyllis Carter was a salesperson at the local J.C. Penney department store. Frankie Brill sold the property to William E. and Betty Lea Wall in ca. 1963 and the Walls remained until their divorce in ca. 1968. No permits were issued to the Brills or Walls.

Ownership between ca. 1968 and 1992 was not confirmed during this investigation, but in 1992 to property was owned by Kenneth H. (1922-2019) and Charlotte M. (1920-2020) Pitzer. The Pitzers had one son, James M. (1953-1983) who preceded them (cancer), dying in New Jersey.

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Research confirmed the Pitzers owned 1022 La Cadena Avenue from at least 1992 to recently, following their respective deaths. However, it is also noted the Pitzers owned a unit at 503 W. Duarte Road (#6), indicating they may have abandoned the property on La Cadena Avenue and lived nearby – not actually vacating person property from the La Cadena property. Kenneth Pitzer was identified as a student from CalTech and referred to as a “design engineer.” He was an avid aviation enthusiast and was also considered an avocational inventor.

Based on the information available to date, the Jensens built a residence and garage on their property while operating a poultry ranch. They relocated, selling the property to the Siewerts, who added to the residence and constructed a shed (1939). In 1944, Jack Hutchinson built the second residence (1944) and is credited with the construction of the office, large barn with extended wing, and covered patio. He immediately sold the property to the Nitzkowskis (ca. 1944-1945) who remained until 1958. By 1993, the property was owned by Kenneth and Charlotte Pitzer. Some time between 1980 and 1993, the large wing to the east of the barn had been removed. When the Pitzers took possession of the property the improvements consisted of the original residence (1926-1927), garage (1926-1927), additional to the original residence (1939), shed (1939), covered patio (1944), office (1944), large barn/workshop (ca. 1944), and second residence (1944). These improvements remain today (2021).

CURRENT CONDITIONS

A recent visit to the property at 1022 La Cadena Avenue confirmed the presence of five buildings: 1926-1927 residence; 1939 shed; 1944 residence; 1944 office; and 1944 barn/workshop. In addition was a covered patio located between the garage and office. The front yard was relatively small, but the rear yard was deep and unkempt. The driveway runs along the northern property boundary, extending from the curb at La Cadena Avenue to the door of the 1926-1927 garage.

Additional concrete expanses have been poured to the south of the garage, north of the second residence and along the south side of the barn/workshop (presumably in 1944, as well). There are remnants of the concrete pad associated with the large wing that was once present to the east of the barn/workshop. Otherwise, the rear yard is dominated by grass and the remains of some felled trees on the property boundaries.

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1926-1927 Residence

The 1926-1927 residence at 1022 La Cadena Avenue is described by the L.A. County Assessor as a four bedroom, 1 bath residence with 1,556 square feet of living space. This description is based on the completion of an addition completed in 1939 by Walter Siewert. This addition is evident on the southeastern corner of the residence and consists of an addition of approximately 120 square feet of living space, indicating the original residence is approximately 1,436 square feet. Similarly, the original residence was probably a three bedroom, one bath residence. Little to no specific information was provided in the permit file.

The existing residence is a single story structure on a raised foundation. It is wood framed. An exterior entrance confirmed this residence also includes a basement. The structure is irregularly shaped and exhibits a cross gable roof design. The roof is high-pitched and there are attic vents evident on the north and south elevations. There are crawl space entrances indicating the floors of the residence is at least two feet above the surrounding soil. There is a covered front porch extending into the front yard area and a recessed side porch accessed from the driveway area. A rear porch is present on the northeast corner of the residence (on the east elevation) providing access to the kitchen area. There is a tall chimney on the north elevation and a short stoop providing access to the addition on the southern extent of the east elevation.

The structure exhibits all the original windows (fixed, double hung sash, and casement). These are all wood framed and appear to have the original glass (some panes likely replaced). The original wooden screens are gone, having been replaced by modern aluminum screens. The original doors are present at all access points.

Changes to the residence appear to be limited to the replacement of the roofing materials (no permits) and the resurfacing of the residence with thick, textured stucco. McKenna et al. suggests this structure was originally a clapboard sided structure and the clapboard siding may have been replaced, but more likely encased in the modern stucco material. The addition of the stucco has significantly impacted the original design of the residence and has also resulted in the loss of some relief surrounding the doors and windows. It is quite likely this resurfacing and reroofing took place during the Pitzer ownership (post-1993). The residence has been abandoned and, although locked, it appears much of the Pitzer belongings are still present, but in a state of neglect.

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1926-1927 Garage

The garage at 1022 La Cadena Avenue was constructed as a two car garage with an east/west trending gable roof. The structure is framed with redwood and currently sided with thick, heavily textured [modern] stucco. This stucco has encased or replaced what was likely a clapboard-sided structure. The north side of the garage exhibits a flat expanse of stucco (no windows). The east elevation has a single window frame, but the window, itself, has been removed and replaced by a piece of plywood. There is a single door on the south elevation. This solid paneled door appears to be original to the structure, but is in poor condition. A small concrete sill has been added to the base of the door. Reroofing and resurfacing was likely completed during the Pitzer ownership period of post-1993.

The west elevation of the garage is dominated by the present of two sets of hinged wooden door that also appear original to the structure. The concrete drive running to the garage doors is a replaced pavement and differs from the concrete floor of the garage. The roof of the garage is in a state of significant disrepair and collapsing. There are multiple layers of composition shingles and areas where the roof is missing. Exposure has damaged portions of the interior of the garage and the stored items within the garage have been damaged, as well. The garage is used only for storage and is quite cluttered. These materials appears to date to the Pitzer ownership and represent salvaging or miscellaneous storage (items in disarray and not in use-able condition).

1939 Shed

The 1939 shed is located east of the 1944 residence and south of the 1944 barn/workshop. This structure is a wood-framed, rectangular structure (almost squared) with vertical and horizontal wood siding and a shed roof sloping to the north. There are doors on the west and south elevations. A third door appears to have been sealed on the east elevation.

There is one window on the west elevation (double hung sash/no ears); one window on the east elevation (six fixed panes); and four windows on the south elevation. The south-facing windows are placed high on the wall, just under the eave, and were designed as simple boxes with screening (no glass). This shed appears to have been designed originally as a chicken coop but has been converted into storage space. It has been semi-finished in the interior (sheetrock, electricity, and a water heater to support a washing machine. The floor is vinyl tile squares atop a rough concrete floor (added after construction).

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At the time of inspection, the interior roof was in a state of collapse and the stored items exhibited water damage. There was also evidence of rodent activity. The material stored in this structure consist primarily of magazine and reference materials associate with aeronautics and airplane designs. McKenna et al. has attributed the majority of this material to the Pitzer ownership and occupation and much of the material is relatively early, suggesting the Pitzers brought the collection with him from a previous residence.

There is a possibility this structure was moved from another location on the original Jensen property, but there are no permits to confirm this premise. Regardless, the structure is a small, nondescript structure in very poor condition. It was designed as a chicken coop in ca. 1939 and converted to storage space – likely in the 1990s. It is in very poor condition and not considered historically significant.

1944 Residence

The 1944 residence at 1022 La Cadena Avenue is a structure credited to Jack Hutchinson, but only occupied after the property was purchased by Nitzkowski family. This residence is a small (660 sq. foot) residence with one bedroom and one bath. It is constructed on a concrete slab, exhibits a low pitched hipped-gable roof, and is covered in modestly textured stucco consistent with the 1940s. In general, the structure is considered to be a Minimal Traditional bungalow exhibiting double hung sash windows (no ears) and simple paneled doors.

There is a small covered porch on the west elevation. There are no outstanding design element on the exterior of the structure. The interior, however, exhibits a unique hard wood, exposed rafter ceiling in the living room area with a stone fireplace. The design elements are not characteristic of a Minimal Traditional residence and may be representative of the structure being relocated, in part, and completed in the Minimal Traditional manner. The permits do not indicate relocation. The materials may have been salvaged and incorporated into the residential design.

At the time of this investigation, the 1944 residence was found to be in poor condition, packed with discarded materials (books, clothing, furniture, debris) and the kitchen and bathroom unusable. The residence appears to have been used as a storage area for many years and not as living space. Some items within the structure may be worth salvaging, but the structure, itself, is not historically significant.

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1944 Office

The office attached to the west side of the large barn/workshop has been tentatively dated to 1944, based primarily on the incising of dates and names in the concrete surrounding the structure. This structure is a one story, wood framed structure with clapboard siding, wood framed casement windows, and a solid panel door (west elevation). The roof is an east/west trending gable design with composition shingles and an added eave on the west elevation to provide protection for the door and windows on the elevation from the elements. This eave consists of simple 2 x 4 framing and corrugated plastic sheeting (modern) attributed to the Pitzer ownership. This office also includes a walk-in closet and bathroom. It rests on a concrete slab and is attached to the barn/workshop to the east. The materials suggest this office was always a part of the barn/workshop, as the siding continues onto the adjacent walls. There is a possibility this structure dates earlier, but no records were found to confirm this potential. Overall, it is a simple structure in poor condition.

1944 Barn/Workshop

As with the office, the 1944 construction date for this barn/workshop is based on the incised dates in the concrete and the continuity of the construction design. In this case, however, the barn/workshop is much larger, exhibiting a high roof (two story) with a small corner room above the southeast corner of the structure. The remainder of the structure is dominated by the ground floor use areas divided only by the supporting posts and roof support structures. The floor is poured concrete and the interior is redwood framing.

The west elevation exhibits a set of large, hinged doors of vertical planking and cross supports. A corresponding opening is located on the east elevation, but here the door is a wide, single expanse associated with wheel runners (replacements) and a single door incorporated into the larger sliding door. There are windows (fixed, but broken panes) on the north elevation.

The south elevation of this barn/workshop is associated with a large, wooden bay door designed to open on hinges and springs. It has since been sealed (non-operational). It is a low door, indicating it was not an access area for trucks, but smaller/lower vehicles. The location of this door is problematic, as the shed to the south is too close to have rendered the bay door functional. For this reason, McKenna et al. suggests this structure was relocated onto the property – possibly from another location on the older Jensen property. Aerial photographs show this barn/workshop has a large wing extending to the east. The presence of this wing is evidenced

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by the scarring on the east elevation, where the gable roofline is still visible. A similar structure was once present on the property to the south, suggesting the Hutchinsons and their neighbors, the Bostroms, arranged to contemporaneous construction/relocation – possibly old poultry ranch structures designed for reuse. In any case, almost half of the original structure is no longer present and the remaining portion is representative of the reuse of the structure following the Hutchinson's brief ownership. The structure has been reroofed. Overall, it is in poor condition.

Summary

In summary, the improvements at 1022 La Cadena Avenue represent at least three periods of improvement: 1926-1927, 1939, and 1944. In addition, there have been alterations to the property completed without permits during the 1990s (+/-). There are five structures on the property: 2 residences, 1 garage, 1 office, 1 shed, and 1 barn/workshop. There is also evidence of a wing to the barn/workshop that has been removed. Changes to the original residence and garage include reroofing and the resurfacing of both structures with thick, modern stucco – covering or replacing the original clapboard siding.

The shed is considered to have been constructed as a chicken coop that than since been renovated into storage space and a structure that accommodated a washing machine. It is in poor condition and in a state of significant disrepair.

The office and barn/workshop reflect a large structural expanse that is also only a remnant of the larger structure (over ½ removed). No permits were found to confirm the data of construction, but McKenna et al. has tentatively concluded this large structure was moved onto the property in ca. 1944 – possibly from another location within the original Jensen property holdings. Whether moved or simply pre-dating 1944, this structure is (office and barn/workshop) are representative of utilitarian improvements that have been incorporated into the activities of the last owner, Pitzer, and still contains many of his personal possessions (tools, books, equipment, etc.). Overall, all five structures are in poor condition and reflect alterations, additions, some demolition, and neglect.

EVALUATION/ASSESSMENT

In April, 2019, the City of Arcadia adopted Ordinance No. 2359: An Ordinance of the City Council of the City of Arcadia, California, Amending Various Sections of Article IX, Chapter 1

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of the Arcadia Municipal Code (“The Development Code”), with an Exemption under the California Environmental Quality Act (CEQA), to implement a Historic Preservation Ordinance.” This Ordinance was the result of numerous meetings, studies, and public comment.

City of Arcadia Zoning Code, Section 9103.17 addresses Historic Preservation. Summarizing the document, for consideration as a Historic Landmark (resource) in the City of Arcadia, property improvements must be 45 years of age or older. In addition to the Code, an evaluation or assessment of a property includes addressing the “integrity” of the resource, as defined by the seven criteria listed in the State and Federal guidelines (Location, Design, Setting, Materials, Workmanship, Feeling, and Association). Subsequent to the “integrity” evaluation, a resource (building, structure, object, or site) is determined to be eligible for recognition if it meets one or more of the following Criteria:

1. It is associated with events that have made a significant contribution to the broad patterns of Arcadia’s or California’s history;
2. It is associated with the lives of persons important to local or California history;
3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values;
4. It has yielded, or has the potential to yield, information important to the prehistory or history of the city or state.

In addition to the basic Ordinance, the improvements must also maintain their integrity, as defined by the seven criteria listed in the State and Federal guidelines (Location, Design, Setting, Materials, Workmanship, Feeling, and Association). Once “Integrity” is addressed, a resource (building, structure, object, or site) can be considered for eligible for recognition if it meets one or more of the following Criteria:

Integrity

Location: In general, the property associated with 1022 La Cadena Avenue is in the same location as it was defined, following the subdivision of Lots 25 and 26 of Tract No. 3430. However, the property is not reflective of the original pro-

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perty, as the original lots were oriented north and south and the property at 1022 La Cadena Avenue is representative of only a fraction of each lot and now oriented east/west. This has impacted the integrity of the property location. However, even the later definition of the property dates to the historic period. All of the improvements within the property are old enough to be considered historic and are in their pre-1945 locations. Therefore, despite lot line changes, McKenna et al. has concluded the intent of the "Location" element **HAS BEEN MET**, albeit minimally.

Design: The original improvements at 1022 La Cadena Avenue consisted of the original residence and garage, only. The other improvements have been dated to 1939 and 1944, respectively. The design of the original residence and garage have been altered through reroofing and resurfacing. The 1939 shed is negligible (chicken coop). With respect to the office and barn/workshop, these improvements are representative of less than ½ the original improvements. The large wing to the east has been removed, resulting is a significant loss to the overall design of the structures and the extent of the improvements on the property. McKenna et al. has concluded the extent of alterations, addition, and demolitions have adversely impacted the original design of the improvements and, therefore, the intent of the "design" element of integrity **HAS NOT BEEN MET**.

Setting: As previously noted above, the original properties associated with 1022 La Cadena Avenue consisted to two relatively large lots (25 and 26) within Tract No. 3430 (dating to 1920) and these lots were oriented north/south. Similar lots were to the south and east, as well as on the west side of La Cadena Avenue. When originally designed, the setting in the area was considered rural and the lots were sized to allow for light agricultural/ranching activities – primarily poultry ranching. The Jensens purchased Lots 25 and 26 to establish a poultry ranch. Later, as the properties were subdivided, many of these single family residential properties with much open space were redeveloped with multi-family apartments and condominium. At present, only on property on the street between W. Duarte Road and Fairview avenue is still single family residential. There are two duplexes (including 1022 La Cadena

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Avenue) and the remainder are post-1963 redevelopments – including one property currently under construction. The extent of the redevelopments has adversely impacted the historic setting for the area and, therefore, McKenna et al. has concluded the intent of the “setting” element of integrity **HAS NOT BEEN MET.**

Materials: The 1926-1927 residence and garage at 1022 LA Cadena Avenue have been impacted by the reroofing and resurfacing of the structures. In addition, the rear addition to the residence, though completed in 1939, altered the original design of the structure. With the replacement of the roofs, the shift from clapboard siding to stucco siding, and the overall attrition of these two structures has impacted their integrity with respect to materials.

In the case of the 1939 shed and 1944 residence, office, and barn/workshop, the majority of the original materials are present. In each case, however, the roofing materials have been replaced. In the case of the barn/workshop, a large wing has been demolished, impacting the design, massing, and presence/absence of original materials. These structures have been modestly altered to accommodate the loss of the wing. Despite reflecting much of the original materials, these structures are in poor condition. None exhibits unique or exotic materials or designs. McKenna et al. has concluded the extent of the loss of original materials and the current conditions of the remaining materials has impacted the integrity of the improvements with respect to “materials” and, therefore, the intent of the “material” element of integrity **HAS NOT BEEN MET.**

Workmanship: The initial improvements at 1022 La Cadena Avenue were completed in 1926-1927, but no architect was identified and no significant builder/craftsman/artisan was identified. The later improvements yielded similar results, although permits did identify at least one builder (not an individual of note). The ancillary structures (office, second resident, shed, and barn/workshop) are fairly simple structures and fail to reflect any significant workmanship. Overall, all of the improvements within the property appear to be standard for their respective dates of construction and not out of the ordinary for their

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primary purposes or uses. The original residence would have been considered a vernacular California Bungalow, but the alterations of rendered this definition non-applicable. The second residence is considered a Minimal Tradition structure and of no historical significant. Likewise, the ancillary structures are fairly standard, despite the current conditions of neglect and attrition. Overall, McKenna et al. has concluded the workmanship is standard and not the work of a recognized architect, master builder, or artisan. There are no outstanding design elements. McKenna et al. has concluded the intent of the “workmanship” element of integrity **HAS NOT BEEN MET.**

Feeling: “Feeling” is a subjective element of integrity. It has been interpreted as requiring an individual to “feel” the same way entering an area as persons would have felt during the “period of significance” which, in this case, the period of significance is 1926-1945. The entire street illustrates considerable modern intrusion of large, multi-storied, multi-family residential complexes. Only three properties on the block exhibit anything close to original improvements and all three have be subjected to some changes that have impacted the ca. 1926-1945 period of significance. The extent of modern improvements coupled with the significant loss of earlier improvements has adversely impacted the “feeling” of the once rural neighborhood. McKenna et al. has concluded the intent of the “feeling” element of integrity **HAS NOT BEEN MET.**

Association: “Association” refers to the potential for the property to be associated with events or persons important in history. In this case, the property can be associated with the Mission period, rancho period, and Elias J. Baldwin ownership. However, the main association is with the 1945 subdivisions of larger properties by private owners who subdivided their holdings for private sales. These owners did not necessarily improve the properties, as a whole, but sold unused portions while retaining area already improved. No persons of note and no significant historical events have been directly associated with the property at 1022 La Cadena Avenue. McKenna et al. found no data sufficient to meet the basic requirements for recognition under the “association” element of integrity and, therefore, has concluded the intent of the “association” element of integrity **HAS NOT BEEN MET.**

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In assessing “Integrity” of this property, McKenna et al. determined only one of the seven elements of integrity can be applied to the improvements at 1022 La Cadena Avenue – Location. As such, the property lacks the necessary integrity to be considered historically significant on the Federal or State level and also fails to meet the requirement for integrity for listing as a local historical landmark.

Final Assessment

The final assessment or evaluation of a property involves addressing the four main criteria defined (questions) designed by, in part, the Office of Historic Preservation, Sacramento, as related to the California Environmental Quality Act, as amended, and as adopted by the City of Arcadia. The follow statements represent the findings of McKenna et al., as determined by the compilation of data pertaining to the improvements at 1022 La Cadena Avenue.

1. It is associated with events that have made a significant contribution to the broad patterns of Arcadia’s or California’s history;

No evidence was found that associated this property with any significant events in the City of Arcadia or California history. Being with the Rancho Santa Anita is not enough to qualify, nor is being with the boundary of any of the subsequent subdivisions. A specific historical event must be identifiable. McKenna et al. found no correlation with any such event and, therefore, **the property is not eligible for recognition under this criterion.**

2. It is associated with the lives of persons important to local or California history;

No evidence was found to associate this property to any significant persons in the City of Arcadia or California history. As noted above, the association with the various owners of the rancho/ranch is not enough to qualify. The existing improvements could not be associated with any person meeting the minimum requirements for recognition. Therefore, **the property is not eligible for recognition under this criterion.**

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3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values;

The improvements at 1022 La Cadena Avenue include the original residence, a later residence, garage, office, shed, and barn/workshop. The original 1926-1927 residence has been classified as a vernacular form of a California Bungalow that has been significantly altered. The corresponding 1926-1927 garage is in this same category. The 1944 residence is a Minimal Traditional structure with no outstanding exterior design elements. The 1939 shed is a wooded chicken coop that has been converted to storage space. The 1944 office and barn/workshop represent the largest of the improvements, but these are also simple structure exhibiting wood framing and siding, but no outstanding use of materials or design elements. In the case of the barn/workshop, over ½ of the structure has already been demolished. None of these improvement exhibit the high artistic values or any unique construction required under this criterion. No architect, builder, or artisan of note has been identified and no unique or exotic materials were used in the construction. Overall, McKenna et al. considers the improvements standard for the period(s) and **the property is not eligible for recognition under this criterion.**

4. It has yielded, or has the potential to yield, information important to the prehistory or history of the city or state.

No evidence has been found to suggest this property has a potential to yield significant scientific information to Arcadia, the state, or the federal governments. The property is considered clear of such resources and, therefore, **the property is not eligible for recognition under this criterion.**

Summary

McKenna et al. has concluded the improvements at 1022 La Cadena Avenue failed to maintain architectural "Integrity" (as defined in the policies and guidelines) and also failed to meet

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any of the four major criteria for consideration as a historical resource eligible for listing in any of the local, state, or federal registers. The property is not currently listed on the City's list of individually recognized properties and is not eligible for listing.

McKenna et al. has concluded this property would not qualify for listing and has assigned this property a status code of "6Z." McKenna et al. considers the property clear of any significant cultural resources. Any future renovations, alterations, additions, demolition activities, and/or redevelopment of this property will not result in adverse environmental impacts.

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Overview of La Cadena Avenue, towards Duarte Road, Arcadia, CA (S)



Overview of La Cadena Avenue,towards Fairview Avenue, Arcadia, CA (N)



Residences at 1018 La Cadena Avenue, Arcadia, CA (MFR, 2003; E)



Residences at 1016 La Cadena Avenue, Arcadia, CA (MFR, 20011-2012; E)



Residences at 1000 La Cadena Avenue, Arcadia, CA (MFR, 1963; ENE)



Residences at 918 La Cadena Avenue, Arcadia, CA (MFR, 1991; NE)



Residences at 503 Fairview Avenue, Arcadia, CA (MFR, 1962; NW)



Overview of La Canada Avenue from Fairview Avenue, Arcadia, CA (S)



Residences at 1001 La Cadena Avenue, Arcadia, CA (MFR, 1965; SW)



Residences at 1001 La Cadena Avenue, Arcadia, CA (MFR, 1965; SW)



Residence at 1011 La Cadena Avenue, Arcadia, CA (SFR, 1951; WSW)



Residences at 1025 and 1025 1/2 La Cadena Avenue, Arcadia, CA (MFR, 1990; WSW)



Residences at 1033 La Cadena Avenue, Arcadia, CA (MFR, 1990; W)



Overview of Arcadia Avenue from La Cadena Avenue, Arcadia, CA (W)



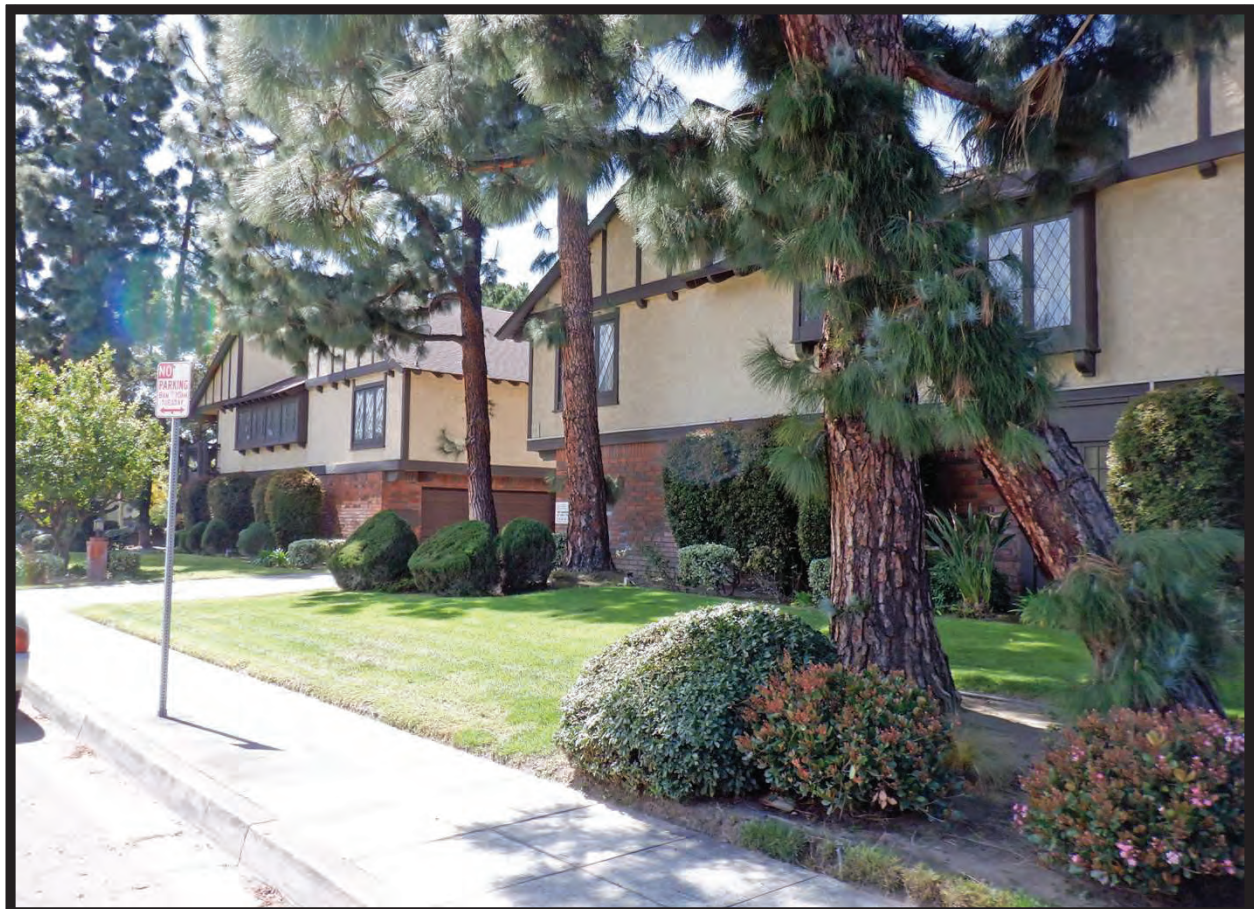
Residence at 1103 La Cadena Avenue, Arcadia, CA (SFR, 1973; WSW)



Property Under Construction at 1111-1117 La Cadena Avenue, Arcadia, CA (MFR, WSW)



Signage at Construction Site, Arcadia, CA.



Residences at 503 W. Duarte Road, Arcadia, CA (MFR, 1979; SW)



Residences at 479-489 W. Duarte Road, Arcadia, CA (MFR, 1974; SE)



Residences at 1102 La Cadena Avenue, Arcadia, CA (MFR, 1974; E)



Residences at 1102 La Cadena Avenue, Arcadia, CA (MFR, 1974; NE)



Residences at 1102 La Cadena Avenue, Arcadia, CA (MFR, 1974; E)



Residences at 1102 La Cadena Avenue, Arcadia, CA (MFR, 1974; E)



Residences at 1026 La Cadena Avenue, Arcadia, CA (MFR, 1964; ENE)



Residences at 1026 La Cadena Avenue, Arcadia, CA (MFR, 1964; E)



Frontage at 1022 La Cadena Avenue, Arcadia, CA (MFR, 1926-1927; 1944; N)



West Elevation of Main Residence at 1022 La Cadena Avenue, Arcadia, CA (MFR, 1926-1927; E)



West Elevation of Main Residence at 1022 La Cadena Avenue, Arcadia, CA (MFR, 1926-1927; NE)



Driveway Entrance to 1022 La Cadena Avenue, Arcadia, CA (E)



Mailbox at 1022 La Cadena Avenue, Arcadia, CA (S)



West Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (ESE)



Driveway on Northern Property Boundary, 1022 La Cadena Avenue, Arcadia, CA (E)



Detail of Driveway Pavements, 1022 La Cadena Avenue, Arcadia, CA (W)



Front Yard of 1022 La Cadena Avenue, Arcadia, CA (S)



North and West Elevations of Residence at 1022 La Cadena Avenue, Arcadia, CA (SE)



West Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (SSE)



Concrete Walkway on West Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (S)



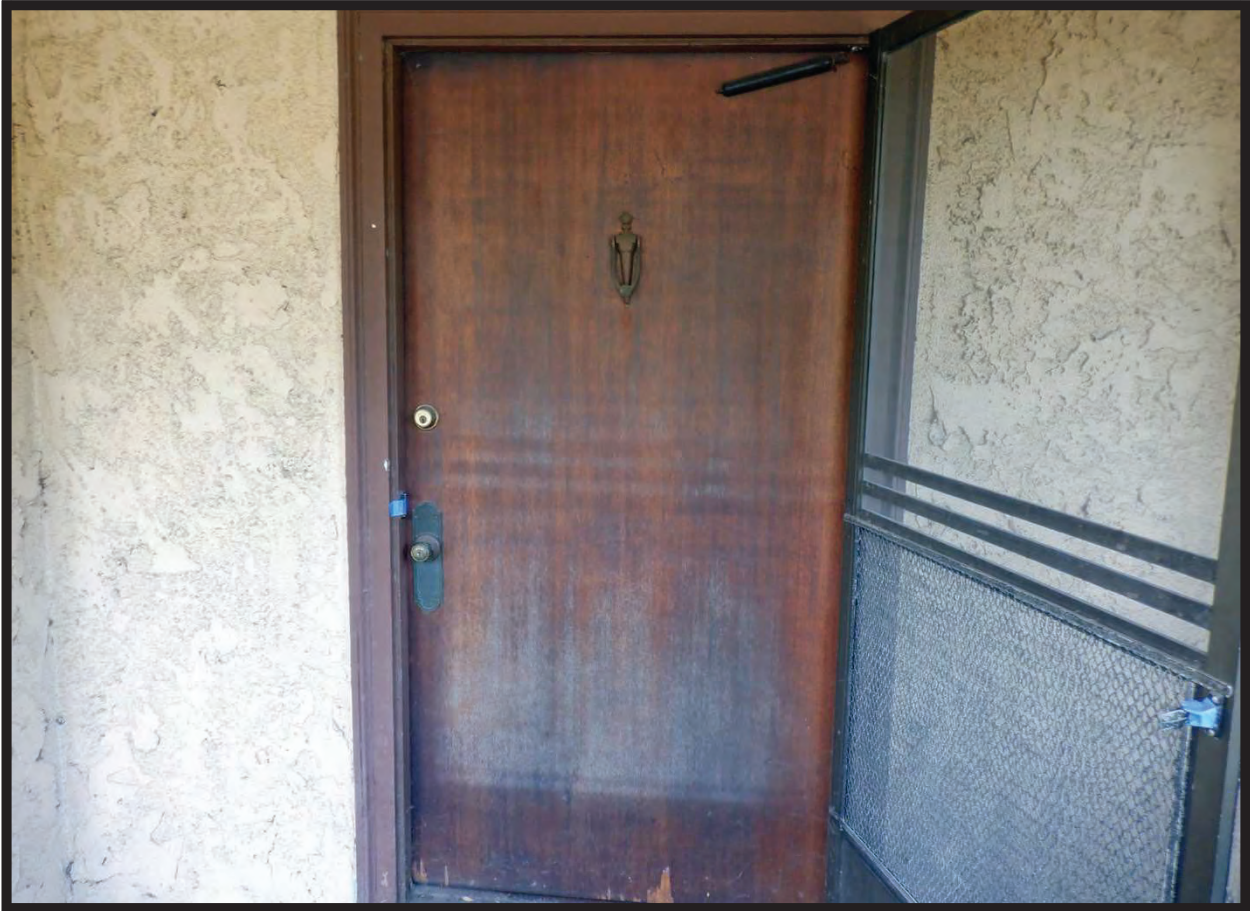
Porch on West Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (S)



Damaged Eave on West Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (SSW)



Main Entry on West Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (SE)



Door Detail, West Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (E)



Veneer Damage on Main Entry Door, West Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (E)



Window Detail, West Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (NE)



Eave Detail, West Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (NNE)



Porch Detail, Door Detail, West Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (E)



West Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (ESE)



Window Detail, West Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (SE)



Roof Detail, West Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (ESE)



Porch Detail, West Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (NE)



Frontage along North Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (E)



Detail, North Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (S)



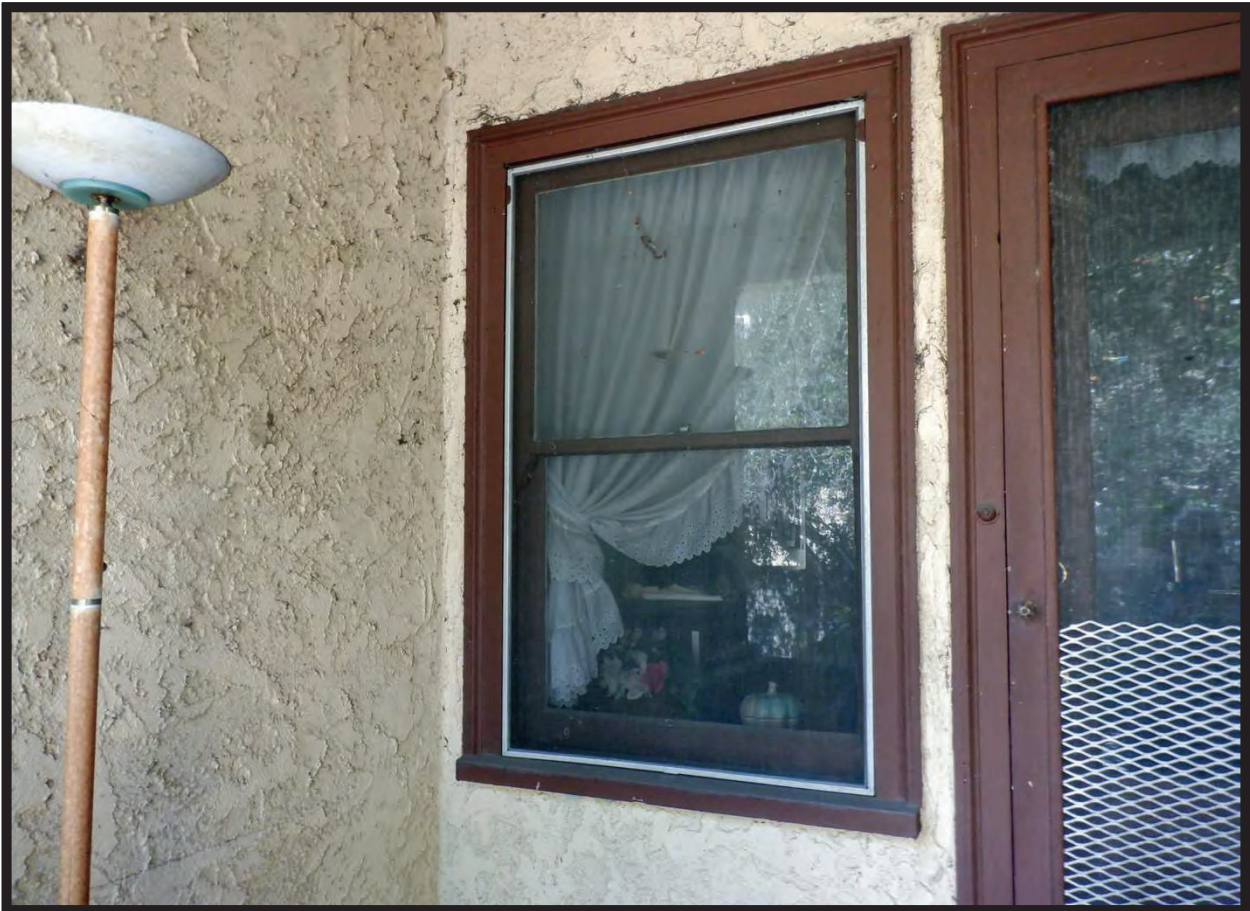
Side Porch on North Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (SSE)



Side Porch, North Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (S)



Window Detail, Side Porch, North Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (SW)



Window Detail, Side Porch, North Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (SSE)



Light Fixture, Side Porch, North Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (S)



Window Detail, Side Porch, North Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (W)



Wall Detail, Side Porch, North Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (E)



North Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (ESE)



Crawl Space Entrance, North Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (SE)



Window Detail, North Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (S)



Window Detail, North Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (ESE)



Rear Porch, East Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (SSW)



Rear Porch, East Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (SW)



East Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (SW)



Rear Entry, East Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (SSW)



Rear Porch, East Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (W)



Raised Rear Porch, East Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (SSW)



Basement Entry, East Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (W)



East Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (W)



Addition on East Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (S)



Addition on East Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (S)



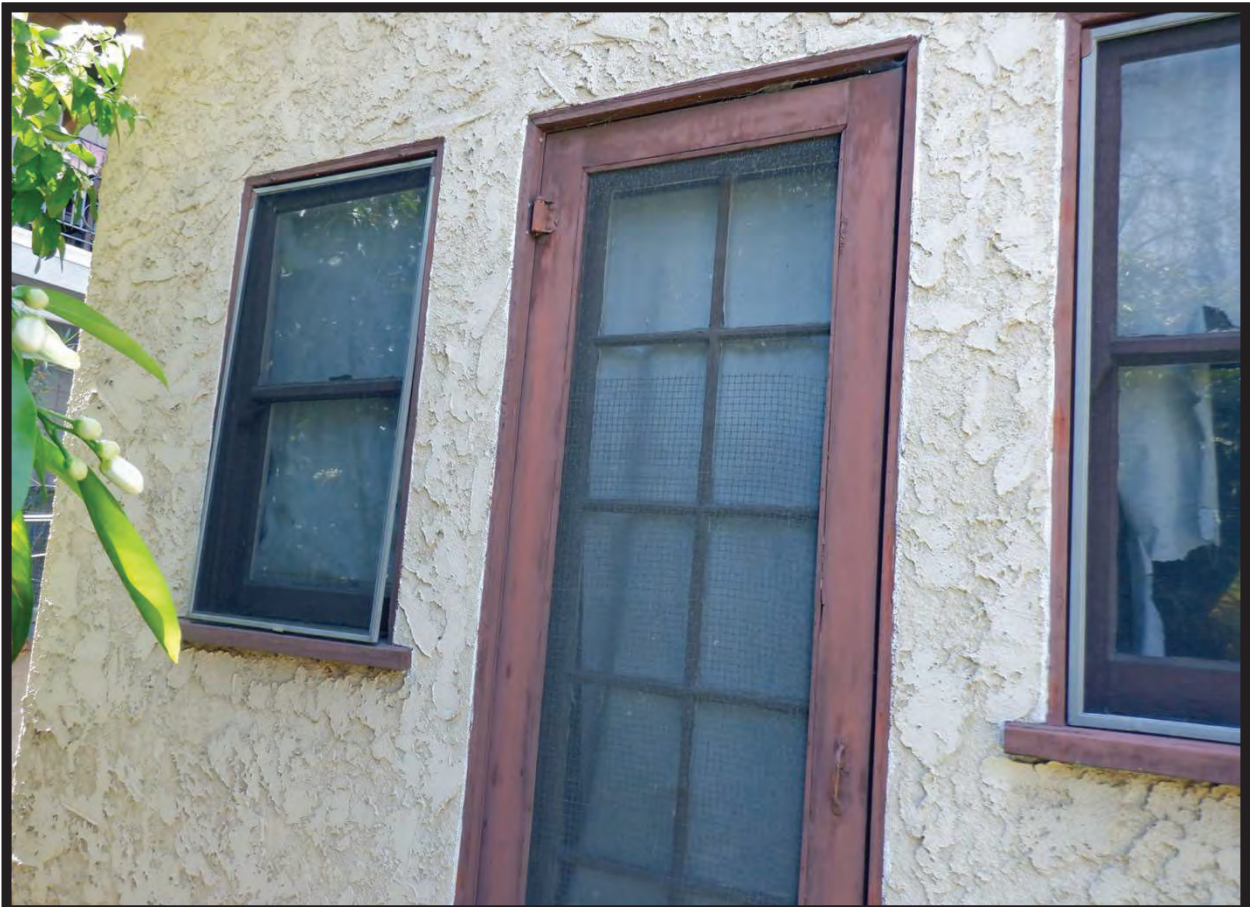
Entrance on Addition, East Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (SW)



East Elevation of Addition to Residence at 1022 La Cadena Avenue, Arcadia, CA (SW)



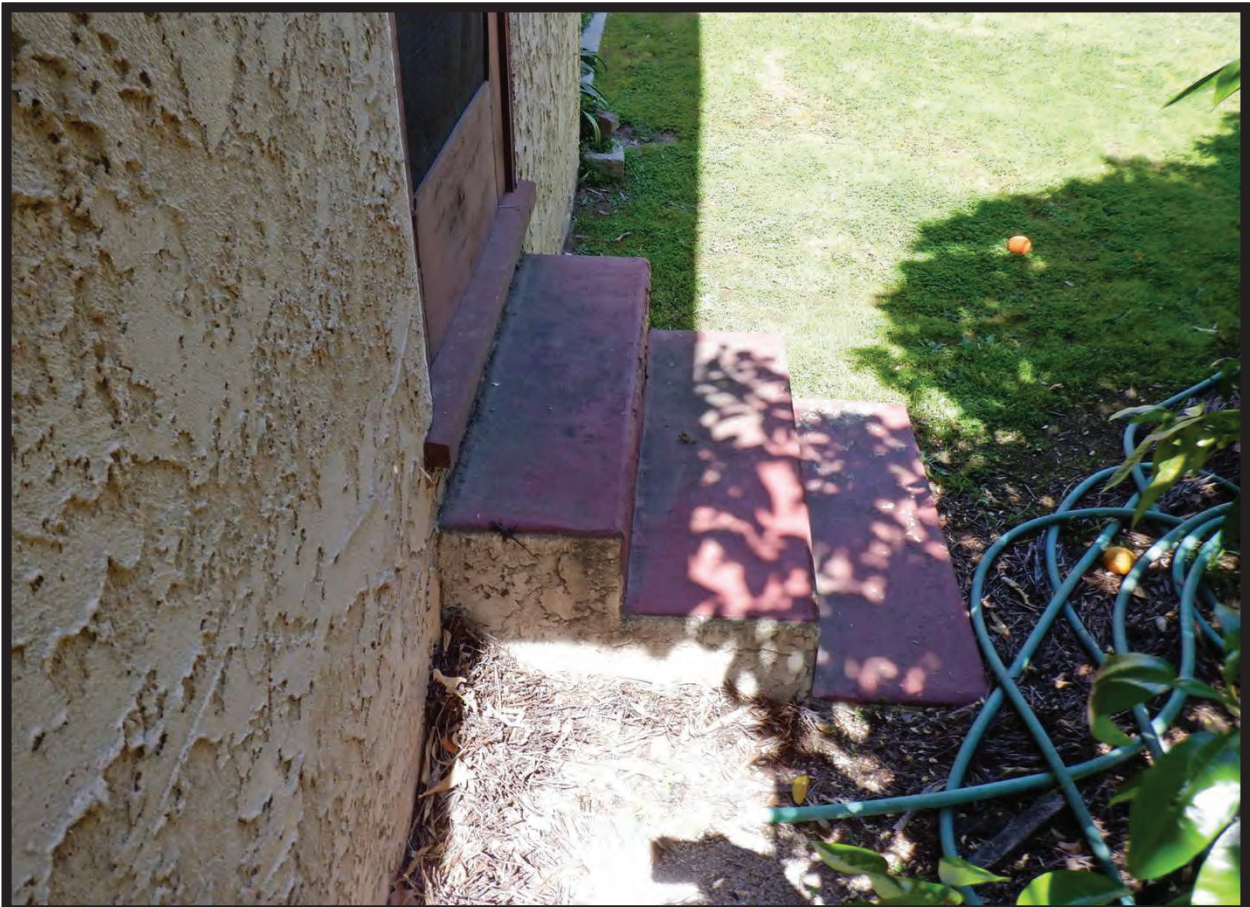
Door and Stoop to Addition on East Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (SW)



Window and Door Detail, Addition to East Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (SW)



East Elevation of Addition to Residence at 1022 La Cadena Avenue, Arcadia, CA (WSW)



Stoop at Addition to East Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (N)



Overview of South Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (WNW)



Roof Lines on South Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (NW)



Window Detail, South Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (WNW)



Floor Vent/Crawl Space, South Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (NW)



Crawl Space Entry, South Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (NW)



Window Detail, South Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (NW)



Window Detail, South Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (NW)



South Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (WNW)



South Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (WNW)



Window Detail, South Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (NW)



Window Detail, South Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (N)



Roof Peak, South Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (N)



South Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (ENE)



Southern Property Boundary, 1022 La Cadena Avenue, Arcadia, CA (E)



Old Post Location, South Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (Detail)



Southern Property Boundary at 1022 La Cadena Avenue, Arcadia, CA (E)



1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (ENE)



South Elevation of Residence at 1022 La Cadena Avenue, Arcadia, CA (WNW)



Interior of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (E)



Interior of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (NE)



Interior of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (NNE)



Interior of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (SE)



Interior of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (SE)



Interior of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (N)



Interior of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (NNE)



Interior of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (E)



Interior of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (E)



Interior of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (W)



Interior of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (SE)



Interior of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (S)



North Elevation of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (ESE)



Added Roofing North of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (ESE)



Paved Alignment between Garage and 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (E)



North and West Elevations of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (SE)



North Elevation of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (ESE)



North Elevation of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (ESE)



East Elevation of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (SSW)



East and North Elevations of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (WSW)



East Elevation of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (SSW)



Window Detail, East Elevation of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (SW)



South Elevation of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (NW)



South Elevation of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (WNW)



South Elevation of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (WNW)



East Elevation of 1944 Residence and West Elevation of Shed at 1022 La Cadena Avenue, Arcadia, CA (N)



Shed East of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (NE)



South elevation of Shed East of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (ENE)



Interior of Shed East of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (E)



Interior of Shed East of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (ENE)



Interior of Shed East of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (N)



Interior of Shed East of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (n)



West Elevation of Shed East of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (NE)



Broken Concrete Pad West of Shed at 1022 La Cadena Avenue, Arcadia, CA (N)



Broken Concrete Pad West of Shed at 1022 La Cadena Avenue, Arcadia, CA (WSW)



North Elevation of Shed East of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (ESE)



East Elevation of Shed East of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (WSW)



East Elevation of Shed East of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (SSW)



East Elevation of Shed East of 1944 Residence at 1022 La Cadena Avenue, Arcadia, CA (WSW)



Rear Yard of 1022 La Cadena Avenue, Arcadia, CA (S)



Rear Yard of 1022 La Cadena Avenue, Arcadia, CA (SE)



Rear Yard of 1022 La Cadena Avenue, Arcadia, CA (ESE)



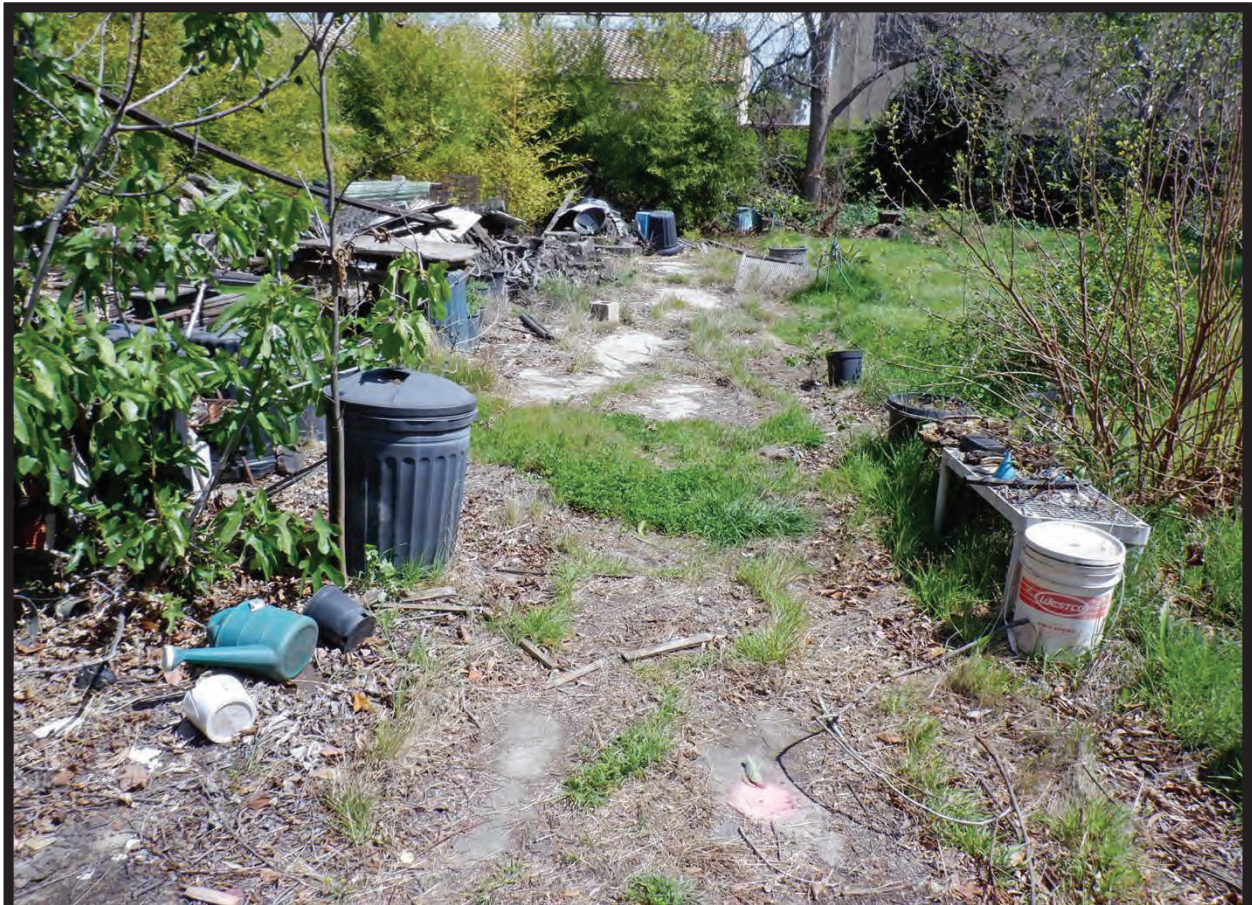
Rear Yard of 1022 La Cadena Avenue, Arcadia, CA (ENE)



Rear Yard of 1022 La Cadena Avenue, Arcadia, CA (N)



Rear Yard of 1022 La Cadena Avenue, Arcadia, CA (N)



Rear Yard of 1022 La Cadena Avenue, Arcadia, CA (E)



Rear Yard of 1022 La Cadena Avenue, Arcadia, CA (SE)



Rear Yard of 1022 La Cadena Avenue, Arcadia, CA (N)



Rear Yard of 1022 La Cadena Avenue, Arcadia, CA (NW)



East Elevation of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (W)



East Elevation of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (NW)



East Elevation of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (WSW)



East Elevation of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (W)



East Elevation of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (W)



South Elevation of Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (WNW)



South Elevation of Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (WNW)



South Elevation of Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (WNW)



Detail, East Elevation of Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (NNW)



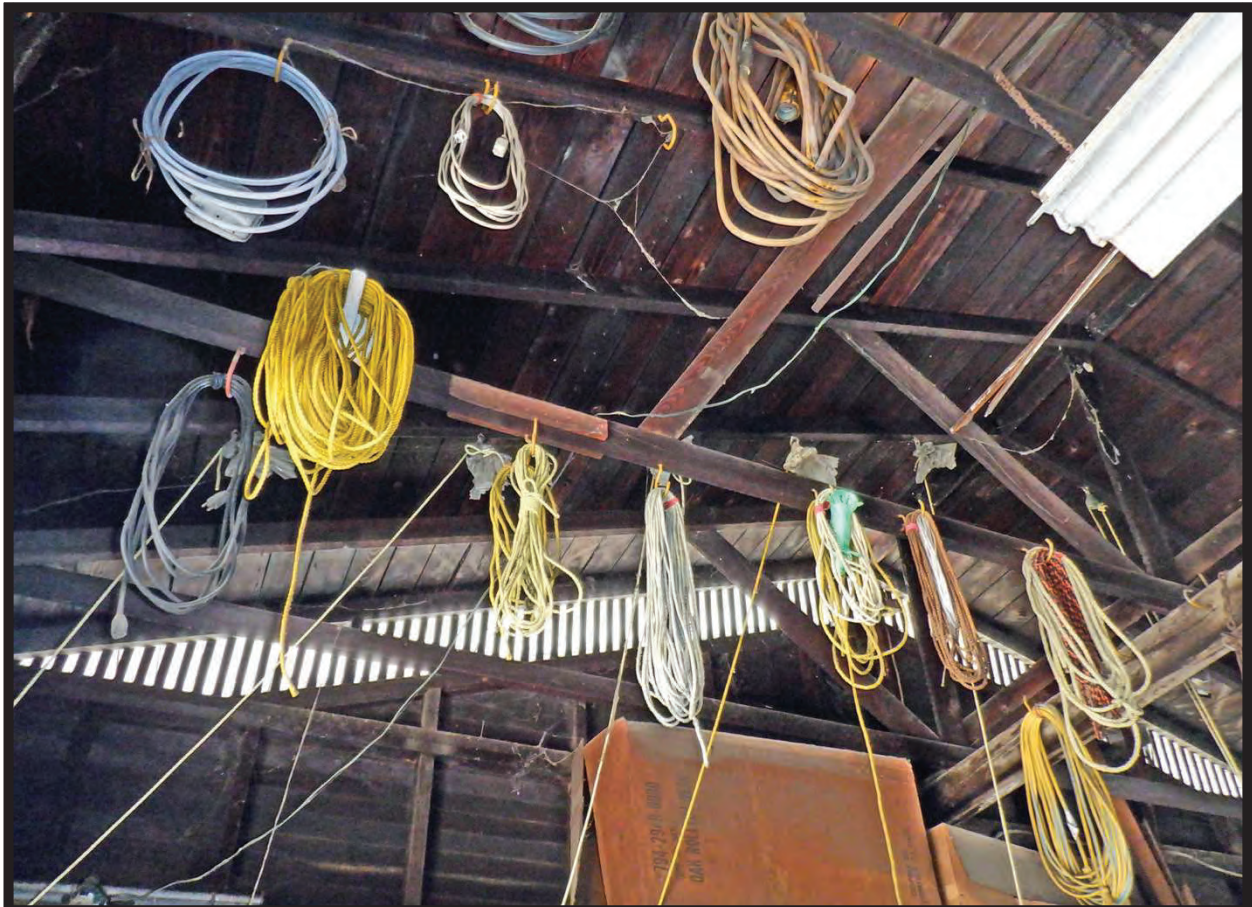
Detail, East Elevation of Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (NNW)



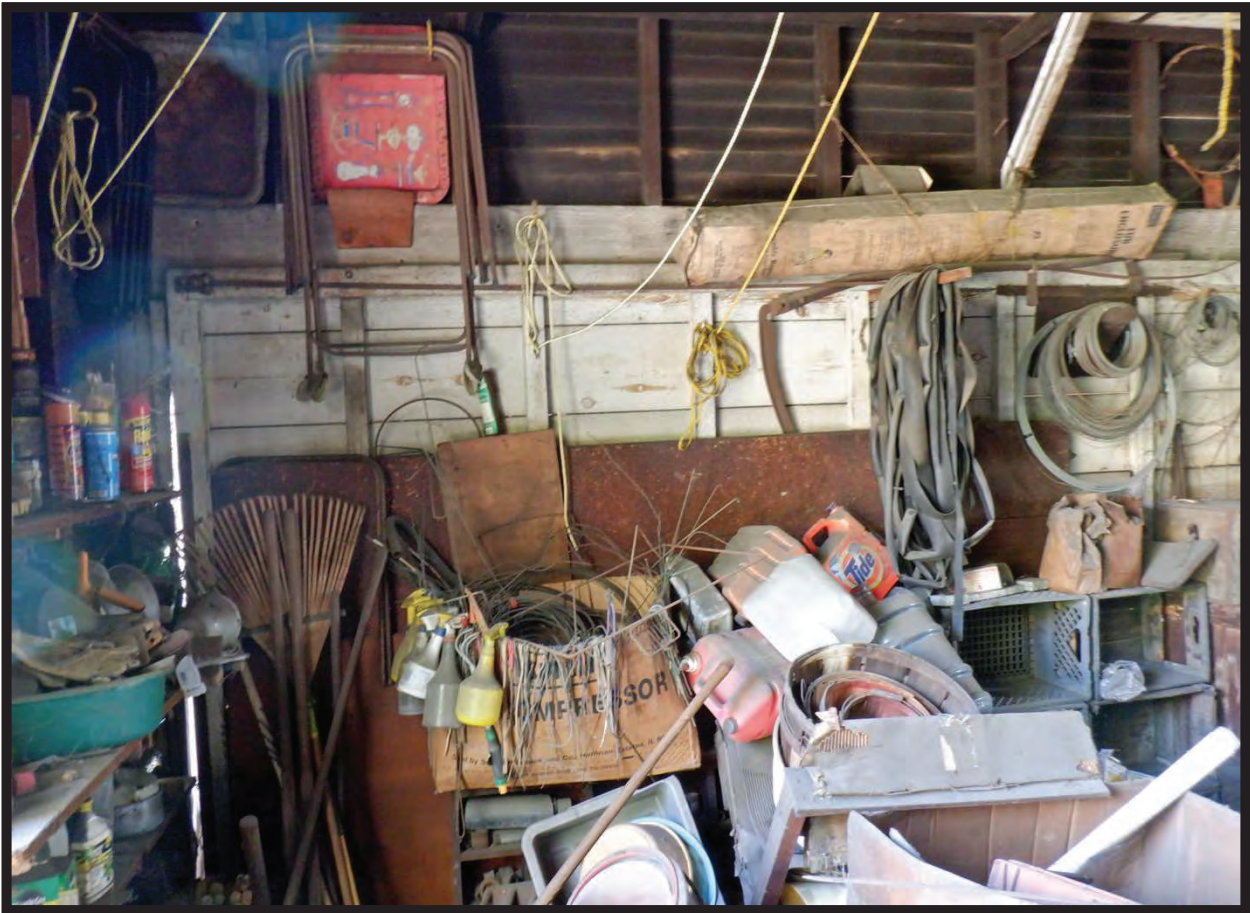
Detail, East Elevation of Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (NNW)



Detail, East Elevation of Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (WSW)



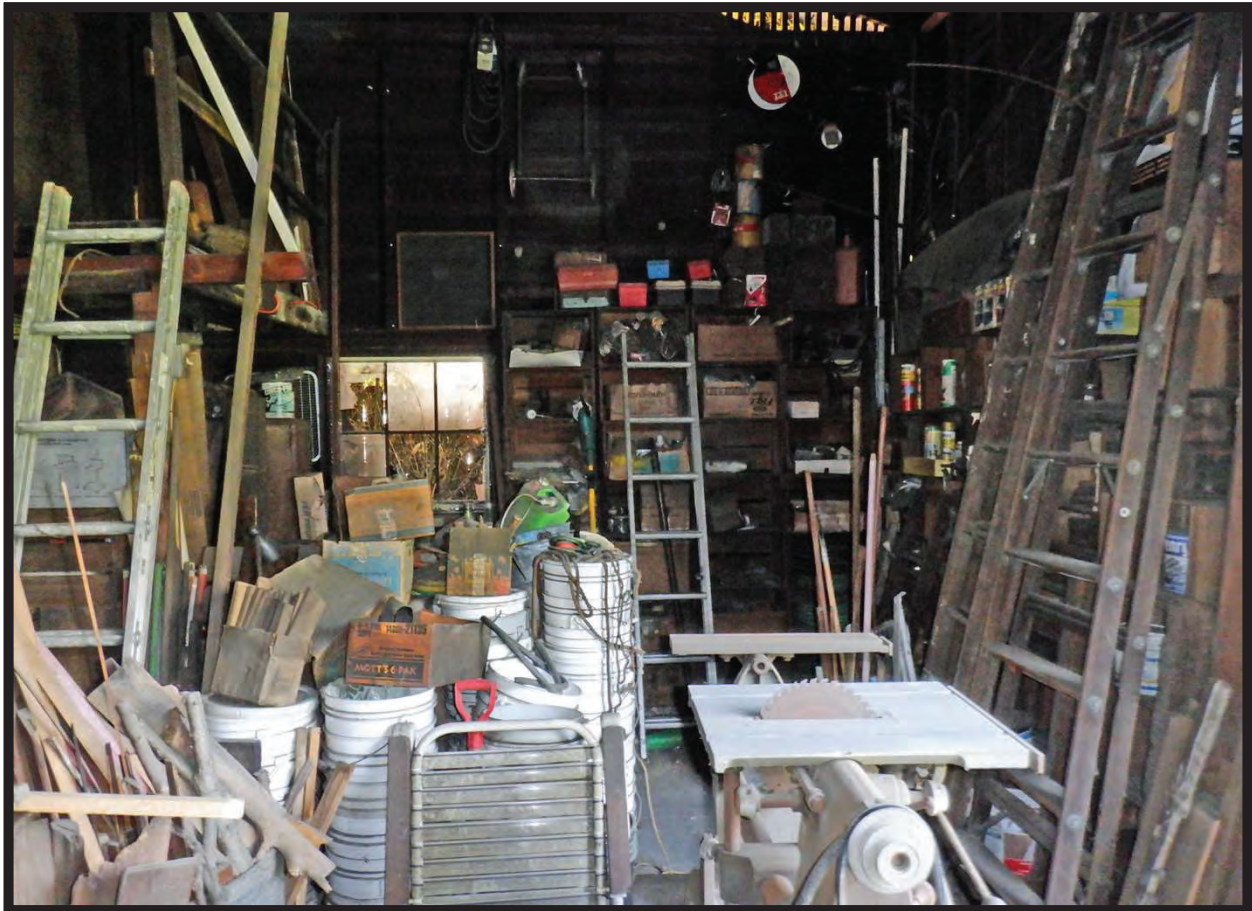
Interior Detail, Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (SSW)



Interior Detail, Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (S)



Interior Detail, Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (SW)



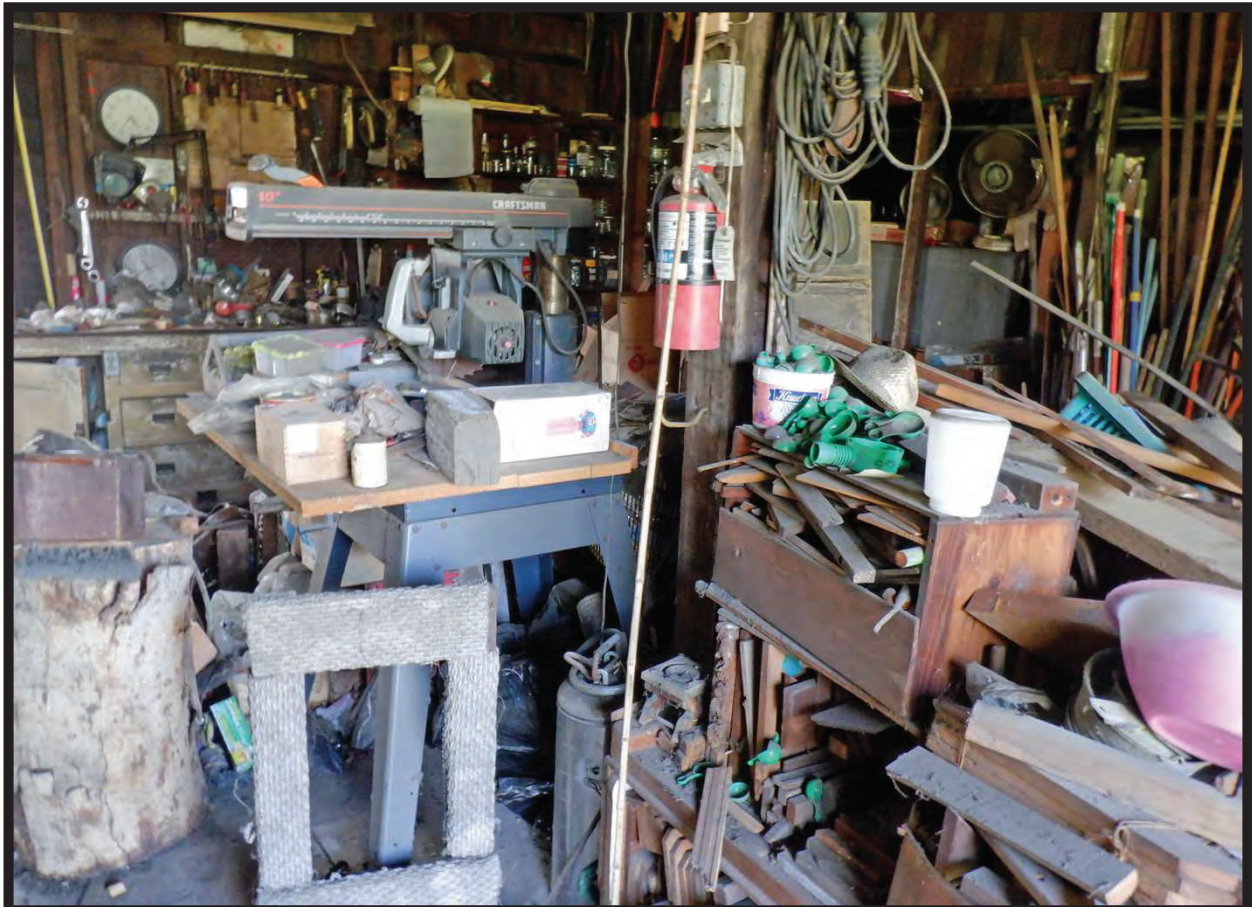
Interior Detail, Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (N)



Interior Detail, Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (NW)



Interior Detail, Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (WNW)



Interior Detail, Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (NW)



Interior Detail, Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (NNW)



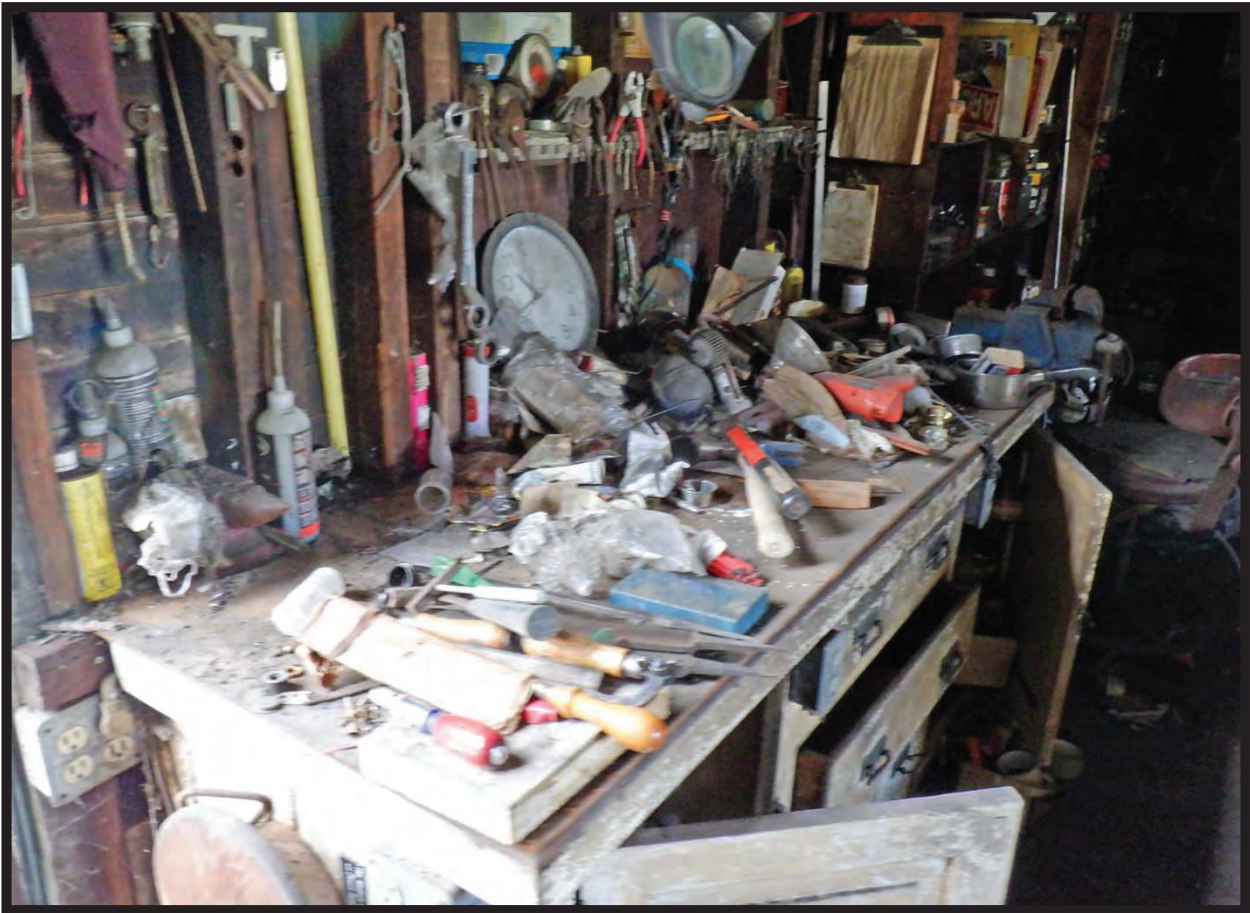
Interior Detail, Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (W)



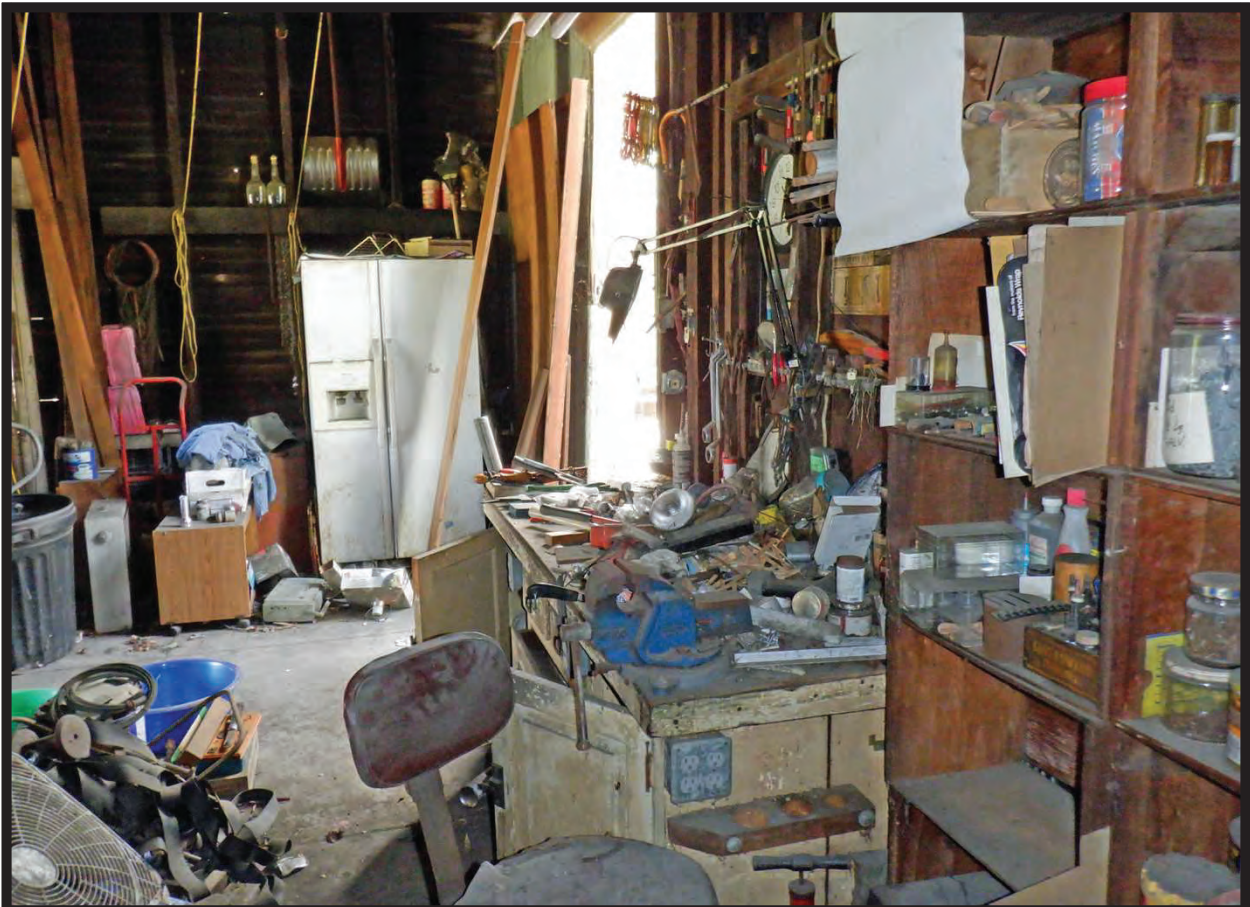
Interior Detail, Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (W)



Interior Detail, Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (NNW)



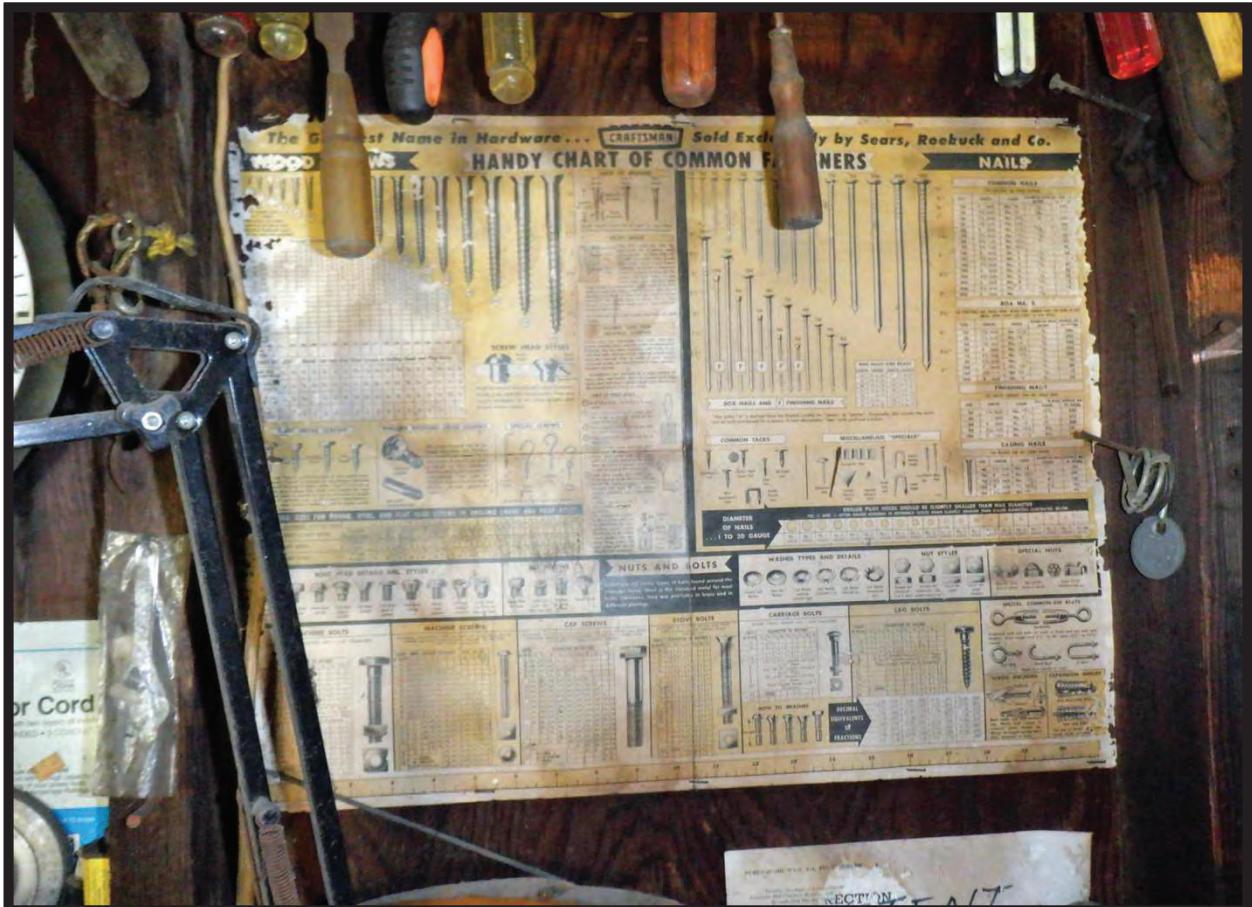
Interior Detail, Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (NW)



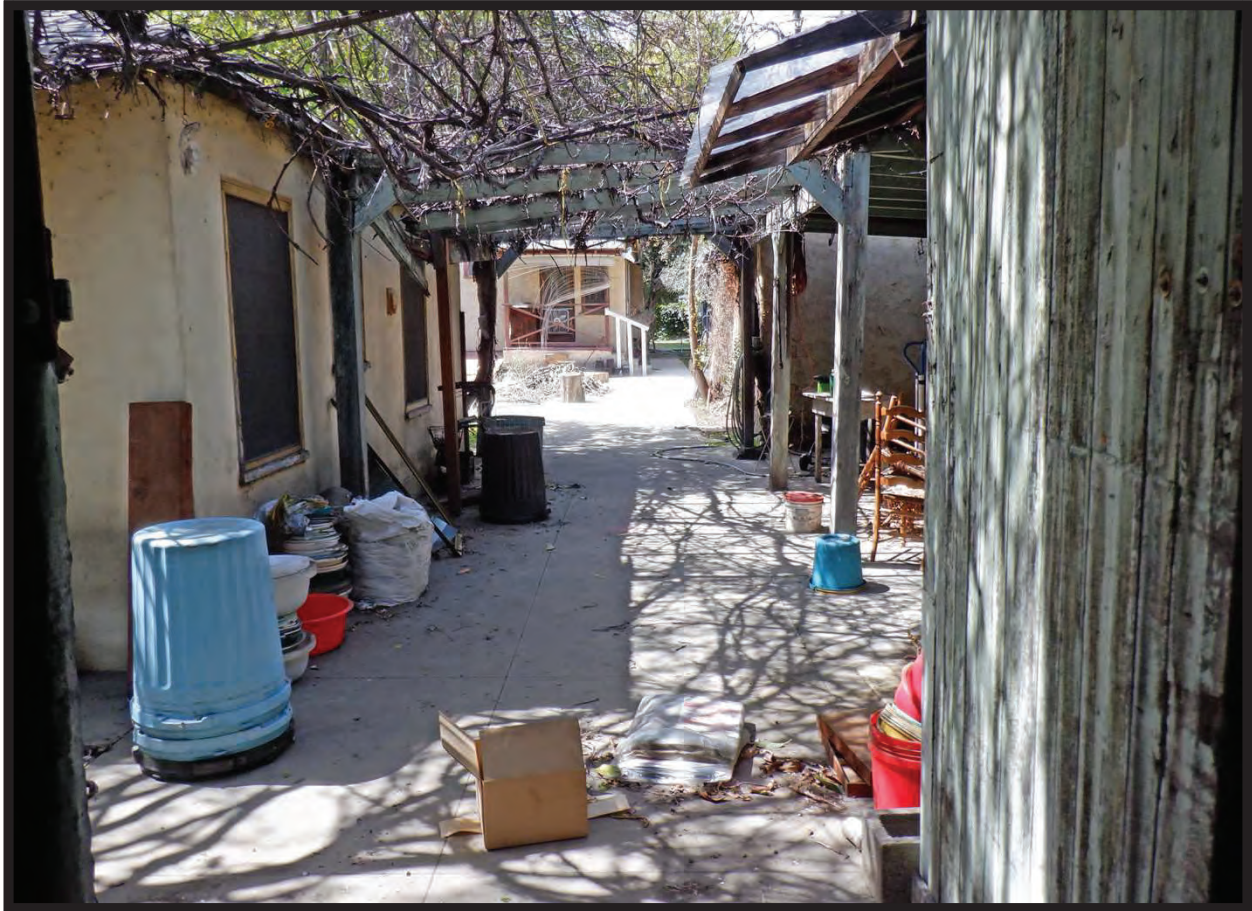
Interior Detail, Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (S)



Interior Detail, Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (SSW)



Interior Detail, Large Barn/Workshop with Bay Door, 1022 La Cadena Avenue, Arcadia, CA (W)



Paved Area between Large Barn/Workshop, 1944 Residence, and 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (W)



West Elevation of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (NNE)



West Elevation of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (E)



Western End of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (NE)



West Elevation of Western Ell of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (NNE)



West Elevation of Western Ell of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (NNE)



West and South Elevations of Western Ell of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (ENE)



Window Detail, South Elevation of Western Ell of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (ENE)



South Elevation of Western End of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (NNW)



Interior of Office in End of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (NE)



Interior of Office in Ell of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (N)



Interior of Office in Ell of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (N)



Interior of Office in Ell of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (N)



Interior of Office in Ell of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (NW)



Detail in Office in Ell of Large Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA



Markings in Concrete to West of Office, 1022 La Cadena Avenue, Arcadia, CA (Detail)



Markings in Concrete to West of Office, 1022 La Cadena Avenue, Arcadia, CA (Detail)



Markings in Concrete to West of Office, 1022 La Cadena Avenue, Arcadia, CA (Detail)



Markings in Concrete to West of Office, 1022 La Cadena Avenue, Arcadia, CA (Detail)



Markings in Concrete to West of Office, 1022 La Cadena Avenue, Arcadia, CA (Detail)



Covered Patio between Office and Garage, 1022 La Cadena Avenue, Arcadia, CA (N)



Covered Patio between Office and Garage, 1022 La Cadena Avenue, Arcadia, CA (NW)



Covered Patio between Office and Garage, 1022 La Cadena Avenue, Arcadia, CA (N)



Detail on Covered Patio between Office and Garage, 1022 La Cadena Avenue, Arcadia, CA (NNW)



Detail on Covered Patio between Office and Garage, 1022 La Cadena Avenue, Arcadia, CA (NW)



East Elevation of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (NNW)



Detail, East Elevation of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (NW)



Covered Patio Area East of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (NNE)



South Elevation of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (WNW)



South Elevation of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (N)



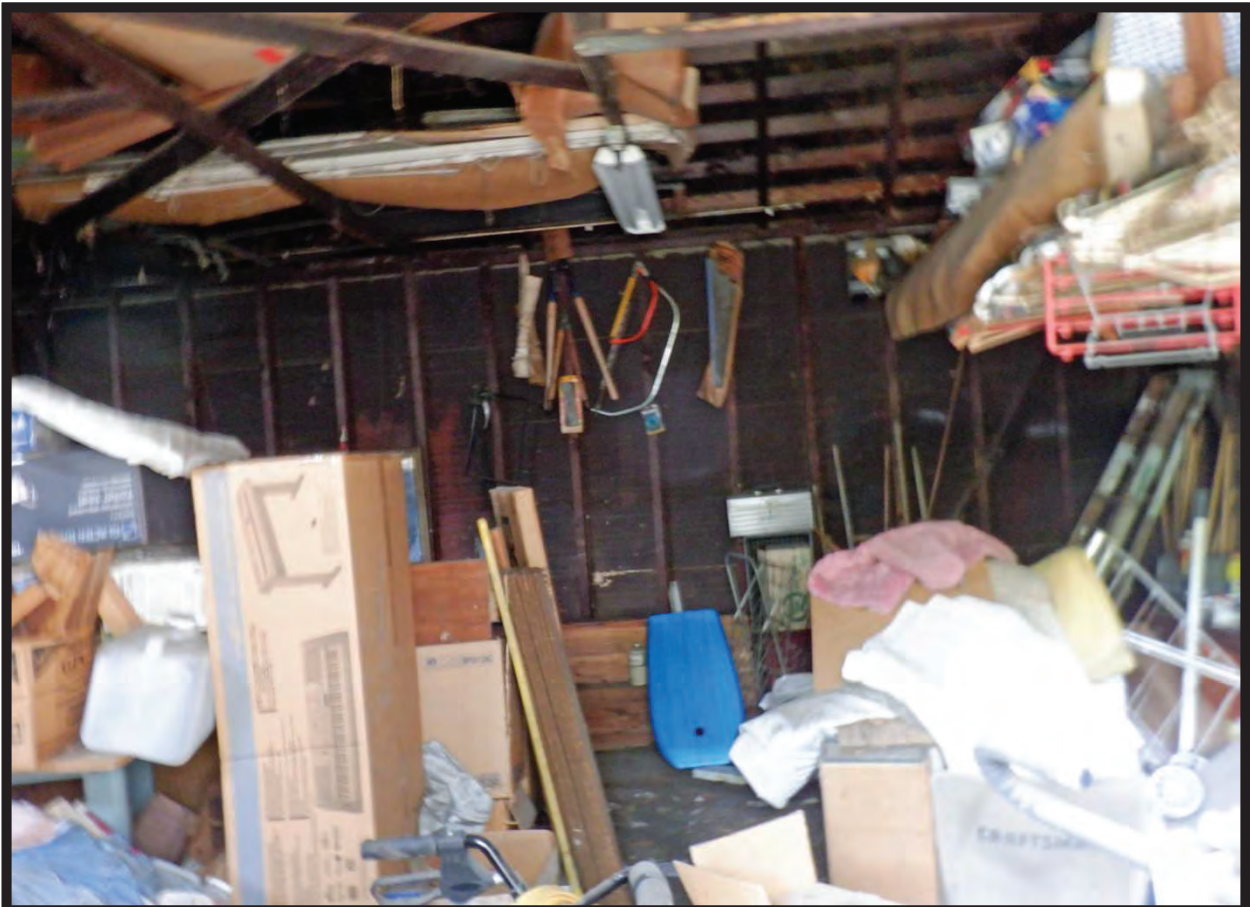
South Elevation of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (N)



South Elevation of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (NW)



Interior of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (NNE)



Interior of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (N)



Interior of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (NW)



Interior of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (WNW)



West Elevation of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (NE)



West Elevation of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (ENE)



Door Detail, West Elevation of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (E)



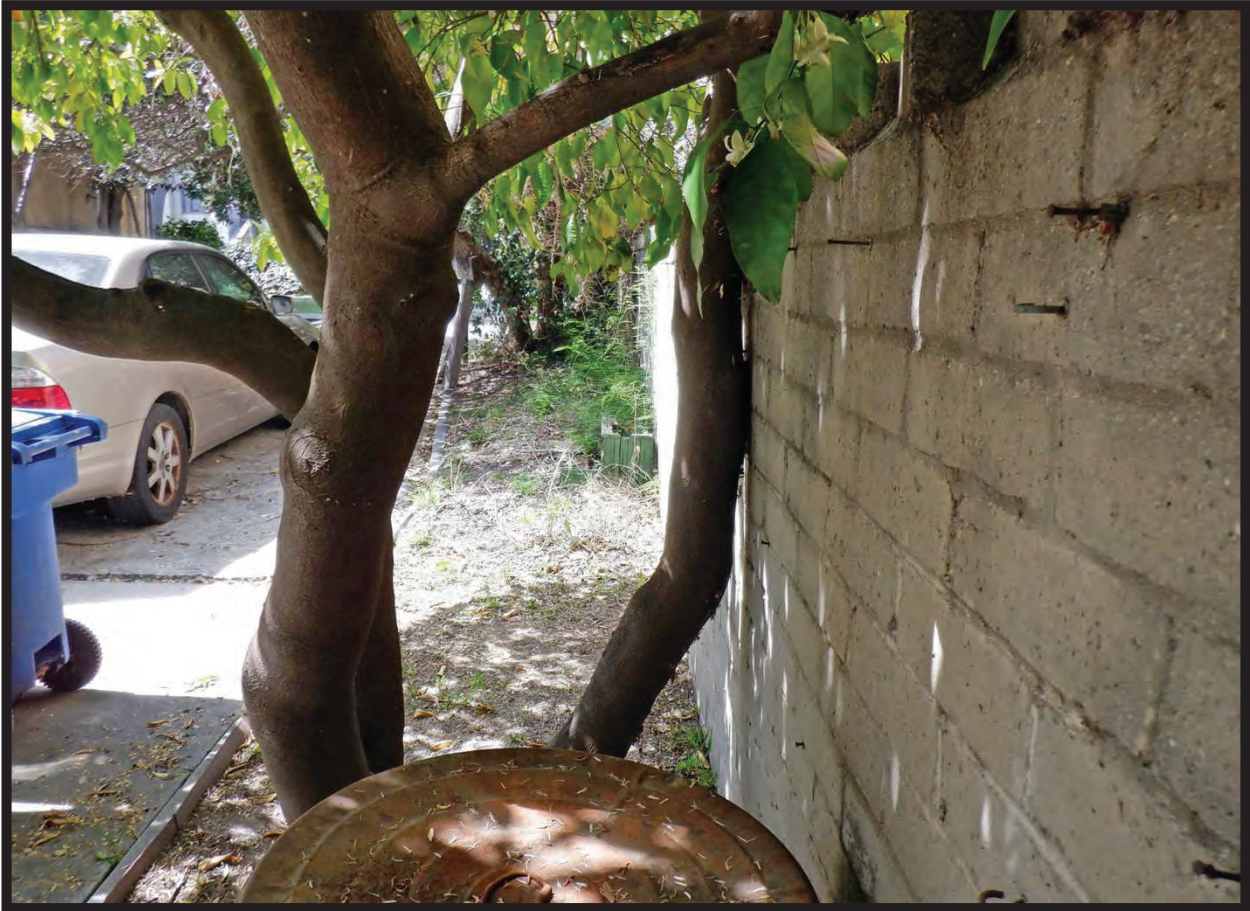
Door Detail, West Elevation of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (NE)



North Elevation of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (E)



Northern Property Boundary along 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (E)



Northern Property Boundary from 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (W)



Overview of Driveway from 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (W)



Debris in Yard to East of Residence, 1022 La Cadena Avenue, Arcadia, CA (S)



Overview of 1926-1927 Garage, 1022 La Cadena Avenue, Arcadia, CA (NE)



Garage, Second Residence, and Covered Access to Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (ENE)



West Elevation of 1944 Residence, 1022 La Cadena Avenue, Arcadia, CA (E)



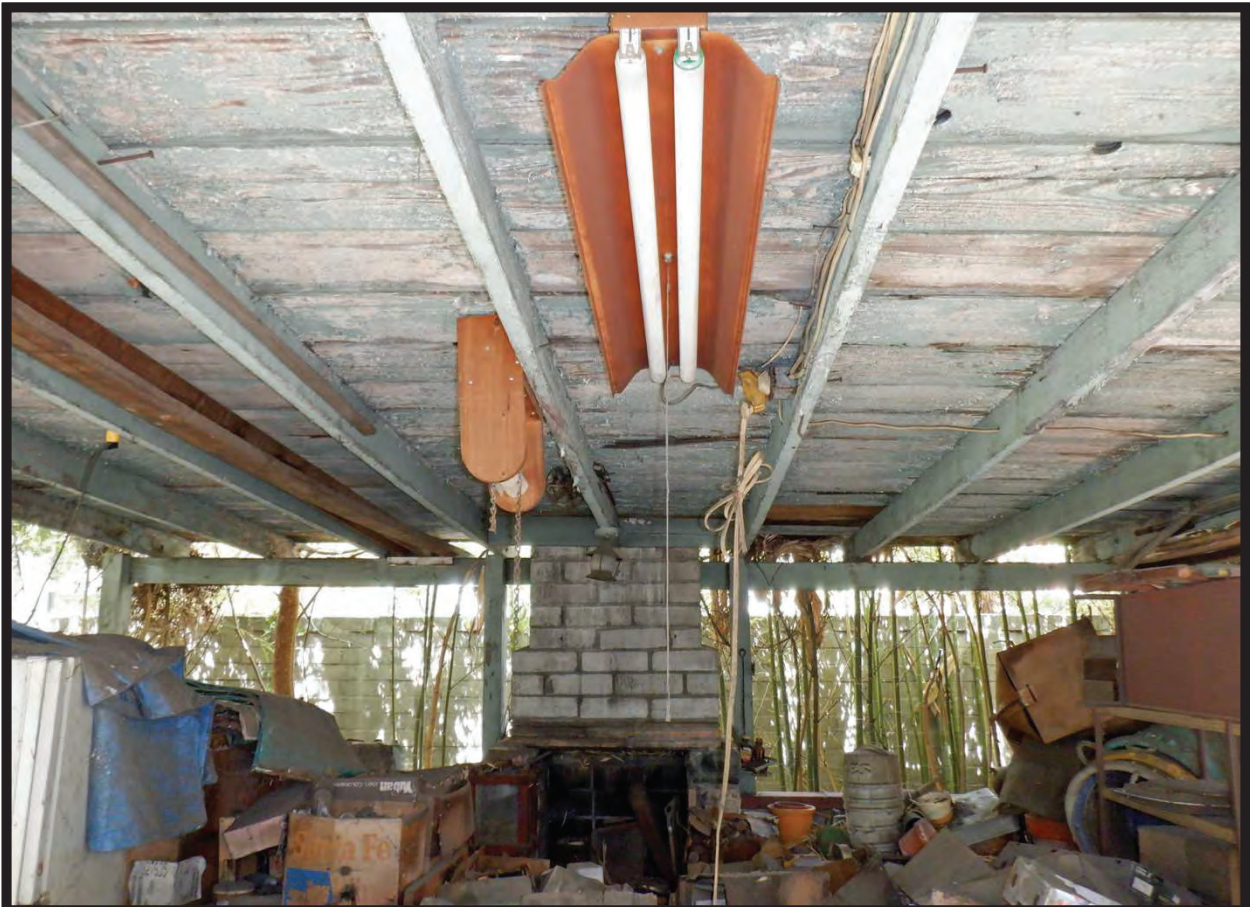
Falling Roof on North Elevation of 1944 Residence, 1022 La Cadena Avenue, Arcadia, CA (SE)



Falling Roof on North Elevation of 1944 Residence, 1022 La Cadena Avenue, Arcadia, CA (S)



Office and West Elevation of Barn/Workshop, 1022 La Cadena Avenue, Arcadia, CA (E)



Covered Patio between Garage and Office, 1022 La Cadena Avenue, Arcadia, CA (N)



Propped Trees along Driveway at 1022 La Cadena Avenue, Arcadia, CA (NNE)



Early Post along Driveway, 1022 La Cadena Avenue, Arcadia, CA (N)



Northern Property Boundary North of 1926-1927 Residence, 1022 La Cadena Avenue, Arcadia, CA (WNW)



Driveway on North Side of 1926-1927 Residence, 1022 La Cadena Avenue, Arcadia, CA (W)

Attachment No. 4

Tentative Tract Map No. TTM 21-06
(83604)

OWNER:
CAMBRIA SAGE LLC
711 S. 1ST AVE.,
ARCADIA, CA 91006

PREPARED BY:
HANK JONG, PE
EGL ASSOCIATES, INC.
11819 GOLDRING ROAD, UNIT A
ARCADIA, CA 91006
PH: 626-263-3588

UTILITY SERVICES:
WATER - CITY OF ARCADIA
SEWER - CITY OF ARCADIA & COUNTY SANITATION DISTRICT
GAS - SOUTHERN CALIFORNIA GAS CO.
ELECTRICITY - SOUTHERN CALIFORNIA EDISON CO.
TELEPHONE - AT&T
SCHOOL - ARCADIA UNIFIED SCHOOL DISTRICT
FIRE - CITY OF ARCADIA FIRE DEPARTMENT
POLICE - CITY OF ARCADIA POLICE DEPARTMENT

NOTES:
-NO OAK TREES ON SITE.
-ALL PUBLIC UTILITIES
SHOULD BE FIELD VERIFIED.

BENCHMARK
CITY BENCHMARK #158
DUJARE RD & LA CADENA AVE CHIS BOX 5' NORTH
OF CATCH BASIN AT NORTHEAST CURB RETURN
ELEV 457.45

SURVEY WAS PROVIDED BY ALFRED J. THELWELL,
LS 6999 ON MARCH 22, 2021
MANAGED BY HANK JONG

EARTHWORK:
CUT 50 CY
FILL 50 CY

SPECIAL NOTE:
THE QUANTITIES SHOWN HEREON ARE FOR
PERMIT AND BONDING PURPOSES ONLY.
THE CONTRACTOR SHALL VERIFY QUANTITIES
PRIOR TO START OF GRADING.

GENERAL NOTES:
ZONE: R-3 (PRESENT)
ZONE: R-3 (PROPOSED)
NO. OF EX. UNITS: 2 DUPLEX UNITS
NO. OF PROP. UNIT: 10 UNITS
NO. OF EX. LOT: 1
NO. OF PROP. LOT: 1
AREA OF LOT: 20,216 SQ. FT. (0.46 ACRES)
NET LOT AREA: 19,980 SQ. FT. (0.46 ACRES) - AFTER DEDICATION
NO. OF PROP. PARKINGS: 10 (2-CAR GARAGE) + 5 GUEST PARKING
SEWERAGE DISPOSAL: BY GRAVITY SEWER PIPES TO ALLEY.
APN: 5778-010-017

DEMOLITION NOTES
① REMOVE EXISTING STRUCTURE.
② REMOVE EXISTING TREE.
③ REMOVE EXISTING DRIVEWAY APPROACH

TENTATIVE TRACT NO. 83604

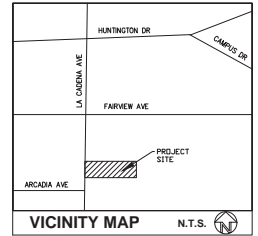
IN THE CITY OF ARCADIA, COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

BEING A SUBDIVISION OF A PORTION OF LOTS 25 AND 26, OF TRACT NO. 3430, AS PER MAP RECORDED
IN BOOK 42 PAGE 32 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

FOR CONDOMINIUM PURPOSES

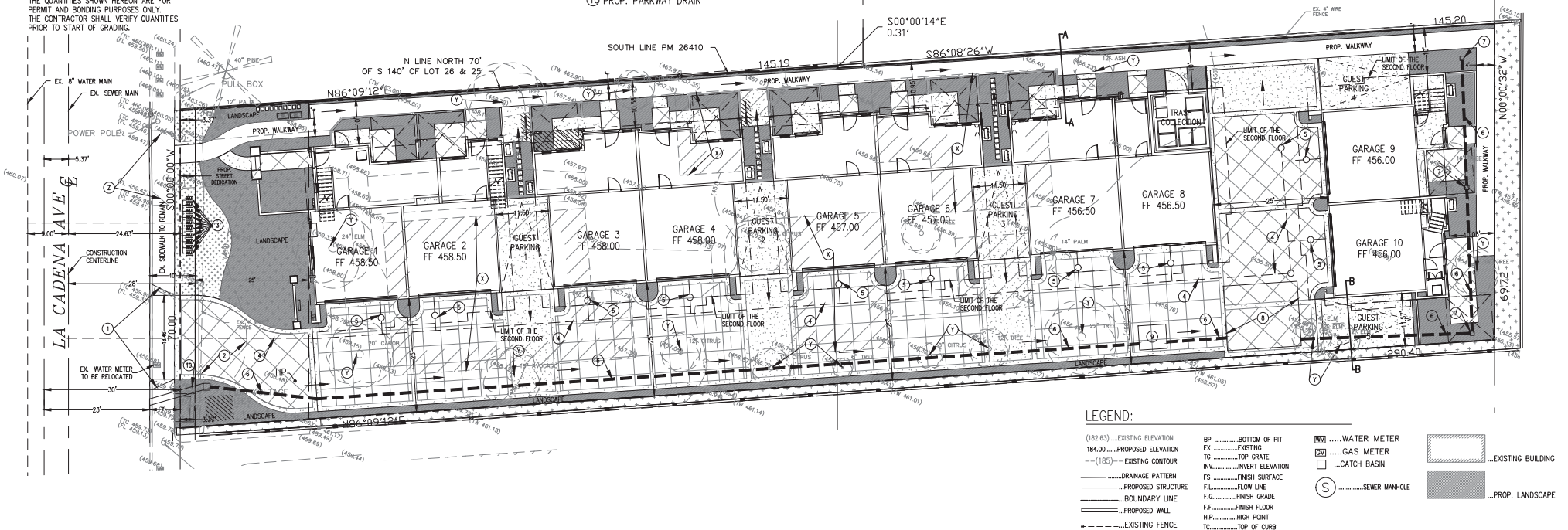
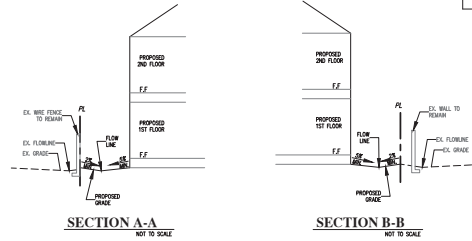


SCALE: 1"=10'



CONSTRUCTION NOTES

- ① PROP. NEW DRIVEWAY APPROACH
- ② PROP. NEW DRIVEWAY
- ③ PROP. NEW WATER METER
- ④ PROP. NEW SEWER LATERAL
- ⑤ PROP. SEWER CLEANOUT
- ⑥ PROP. DRAINAGE PIPE
- ⑦ PROP. CATCH BASIN
- ⑧ PROP. INFILTRATION SYSTEM
- ⑨ PROP. SUMP PUMP
- ⑩ PROP. PARKWAY DRAIN



LEGEND:

- | | | | |
|---------------------------------|--------------------------|--------------------|------------------------|
| (182.63).....EXISTING ELEVATION | BP.....BOTTOM OF PIT | WM.....WATER METER |EXISTING BUILDING |
| 184.00.....PROPOSED ELEVATION | EX.....EXISTING | GM.....GAS METER |PROP. LANDSCAPE |
| ---(185)---EXISTING CONTOUR | TC.....TOP GRATE |CATCH BASIN | |
|DRAINAGE PATTERN | INV.....INVERT ELEVATION |SEWER MANHOLE | |
|PROPOSED STRUCTURE | FS.....FINISH SURFACE | | |
|BOUNDARY LINE | FL.....FLOW LINE | | |
|PROPOSED WALL | FG.....FINISH GRADE | | |
|EXISTING FENCE | FF.....FINISH FLOOR | | |
| | H.P.....HIGH POINT | | |
| | TC.....TOP OF CURB | | |

TENTATIVE TRACT NO. 83604

PROJECT LOCATION:
10-UNIT CONDOMINIUM
1022 LA CANADA AVE.,
ARCADIA, CA 91007

PREPARED FOR:
CAMBRIA SAGE LLC
711 S. 1ST AVE.,
ARCADIA, CA 91006

EGL Associates, Inc.

11819 GOLDRING ROAD, Unit A
ARCADIA, CA 91006
Tel: (626)263-3588
Fax: (626)263-3599



| RELEASED DATE | REVISIONS BY |
|---------------|--------------|
| | |
| | |
| | |
| | |
| | |

Drawn, Checked, and the responsibility of this drawing are the responsibility of the Engineer. The Engineer shall be responsible for the accuracy of the information provided by the client. The Engineer shall not be responsible for the accuracy of the information provided by the client. The Engineer shall not be responsible for the accuracy of the information provided by the client.

| | |
|-------|---------------|
| DATE | 08/27/2021 |
| SCALE | 21-203-004 |
| FILE | 212030047.DWG |

DRAWING 1 of 1
T-1

Attachment No. 5

Architectural Plans



PDS STUDIO
ARCHITECTURE + DESIGN

711 S. FIRST AVE.
ARCADIA, CA 91006
TEL: 626-294-9402
WWW.PDS-STUDIO.COM

ARCHITECT SEAL:

PROJECT:

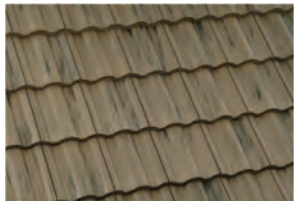
**10 UNITS MULTIFAMILY
RESIDENTIALS (5 3-STORY
DUPLEX)**

1022 LACADENA AVE
ARCADIA CA 91007

PLOT DATE: 10/20/2021
9:01:12 AM

PROJECT NO: -
REVISION DATE

NOTES:



2581 Arcadia Canyon Brown



WOODWORK
WINDOW SHUTTERS
FASCIA BOARD

Midnight Spruce
DE6294



MILGARD WINDOW



CEMENT PLASTER



1022 LA CADENA AVE, ARCADIA CA 91007




SCOPE OF WORK:

**CONSTRUCT 10 UNITS MULTIFAMILY RESIDENTIALS (5 DUPLEX, 3 STORIES)
ALL EXISTING TO BE DEMOLISHED**

EXTERIOR FINISH SCHEDULE

- CONCRETE ROOF TILE (EAGLE ROOFING TILE, ESR-2250)
 - ROOF PROFILE: MALIBU, COLOR: ARCADIA CANYON BROWN #2581
- CEMENT PLASTER (MERLEX STUCCO)
 - FINISH: SAND STUCCO FINISH, COLOR: P-8 EL DORADO
- EXTERIOR WINDOWS (MILGARD WINDOWS)
 - COLLECTION: TUSCANY, COLOR: BLACK
- STUCCOED TRIM (MERLEX STUCCO)
 - STUCCOED FINISH, COLOR: P-174 DESERT BEIGE
- DECORATIVE WOOD CORBELS (MILLWORK BY LUMBER YARD)
 - 3X8 PAINTED WOOD CORBEL ON 2X8 W. TRIM
 - COLOR: MIDNIGHT SPRUCE DE6294 (DUNN EDWARD PAINT)
- FASCIA BOARD (MILLWORK BY LUMBER YARD)
 - 2"x6" FASCIA BOARD
 - COLOR: MIDNIGHT SPRUCE DE6294 (DUNN EDWARD PAINT)
- WOODWORK / WALL PLANTERS (WOODWORK BY OTHERS)
 - WOOD, PAINTED
 - COLOR: MIDNIGHT SPRUCE DE6294 (DUNN EDWARD PAINT)
- EXT. LIGHTING (QUOIZEL LIGHTING)
 - MARINE COLLECTION
 - COLOR: BRONZE
- DOWNSPOUT/LEADER/HEAD/RAIN GUTTERS (IRONWORKS BY OTHERS)
 - COLOR COATED ALUMINUM
 - COLOR: RUSTIC BROWN
- GARAGE DOORS (AMARR GARAGE DOOR)
 - COLLECTION: LINCOLN
 - COLOR: STAINED DARK BROWN
- SHUTTERS (MILLWORK BY OTHERS)
 - MDF, PAINTED
 - COLOR: MIDNIGHT SPRUCE DE6294 (DUNN EDWARD PAINT)
- WROUGHT IRON (IRONWORK BY OTHERS)
 - PAINTED BROWN

EXTERIOR LIGHTING SCHEDULE

- | | | |
|---|---|--|
| <p>A:</p> <p>MRE8410WT WALL MOUNT QUOIZEL EXT. LIGHTING MARINE COLLECTION FINISH: BRONZE 15.00" H x 8.50" W x 9.00" D</p>  | <p>B:</p> <p>MRE1909WT HANGING LIGHTING QUOIZEL EXT. LIGHTING MARINE COLLECTION FINISH: BRONZE 20.00" H x 9.50" W x 9.50" D</p>  | <p>C:</p> <p>HB48017MP-237 HAMPTON BAY FINISH: BRONZE 17 1/8" H x 11 7/8" (MOTION SENSOR WALL LANTERN TO BE USED AT SIDES FOR DOWNWARD LIGHTING)</p>  |
|---|---|--|

CHECKED BY: **Checker**

SCALE:

SHEET NAME:

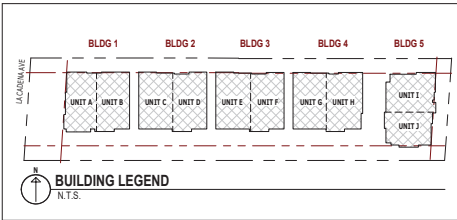
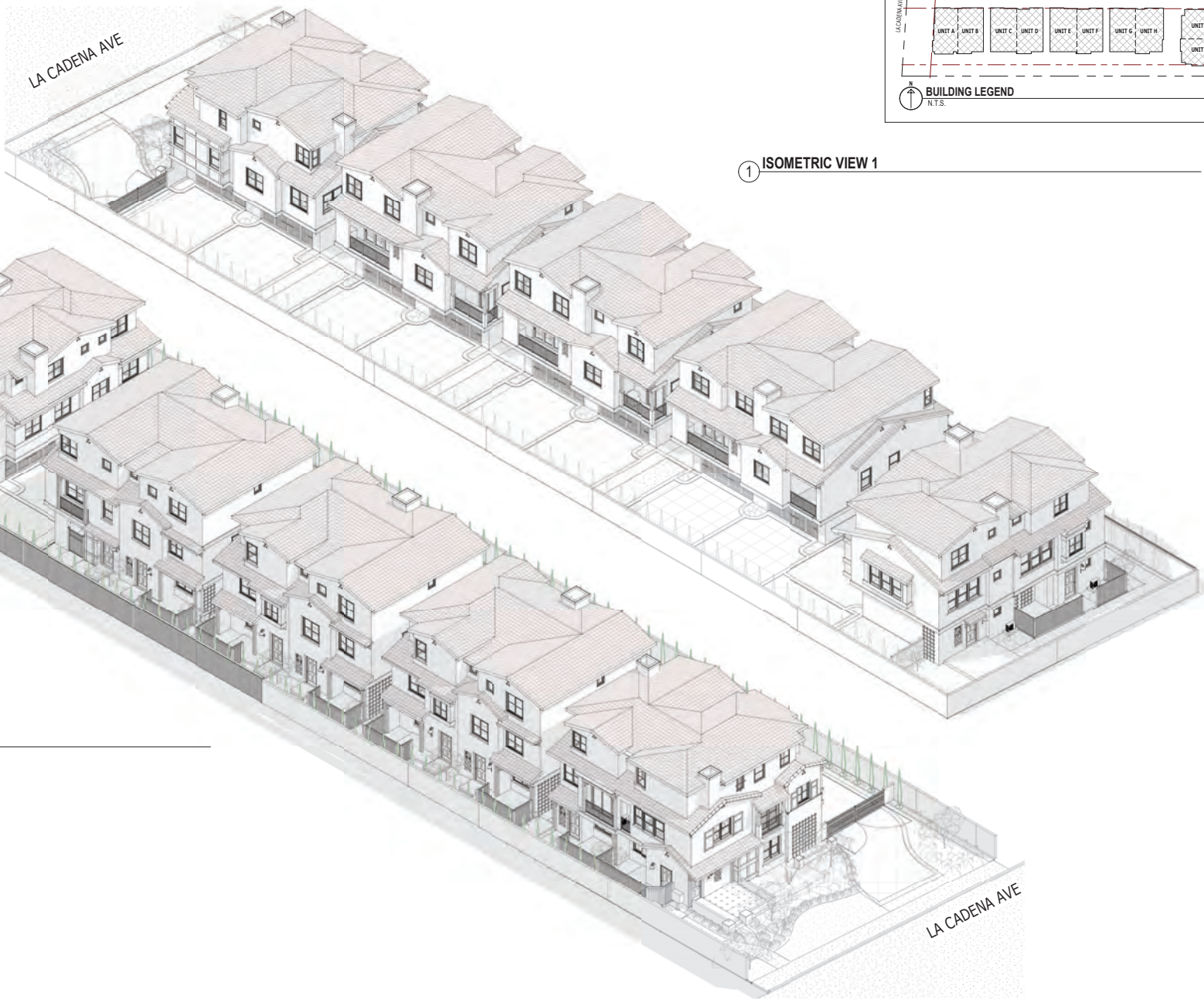
COVER SHEET

SHEET NO:

0

SHEET INDEX:

- COVER SHEET
- ISOMETRIC 3D VIEWS
- SITE PLAN
- TOPOGRAPHIC SURVEY
- SCHEDULE / AREA / TRASH ENCLOSURE PLAN
- FLOOR / ROOF PLAN - BLDG 1
- FLOOR / ROOF PLAN - BLDG 2 / 3
- FLOOR / ROOF PLAN - BLDG 4
- FLOOR / ROOF PLAN - BLDG 5
- ELEVATIONS- BLDG 1
- ELEVATIONS- BLDG 2 / 3
- ELEVATIONS- BLDG 4
- ELEVATIONS- BLDG 5



① ISOMETRIC VIEW 1

② ISOMETRIC VIEW 2



PDS STUDIO
ARCHITECTURE + DESIGN

711 S. FIRST AVE,
ARCADIA, CA 91006
TEL: 626-294-9402
WWW.PDS-STUDIO.COM

ARCHITECT SEAL:

PROJECT:
**10 UNITS MULTIFAMILY
RESIDENTIALS (5 3-STORY
DUPLEX)**

1022 LACADENA AVE
ARCADIA CA 91007

PLOT DATE: 10/20/2021
9:01:36 AM

PROJECT NO: -
REVISION DATE

NOTES:

CHECKED BY: **Checker**

SCALE: 1" = 40'-0"

SHEET NAME:

**ISOMETRIC / 3D
VIEWS**

SHEET NO:

0.1



711 S. FIRST AVE.
ARCADIA, CA 91006
TEL: 626-294-9402
WWW.PDS-STUDIO.COM

ARCHITECT SEAL:

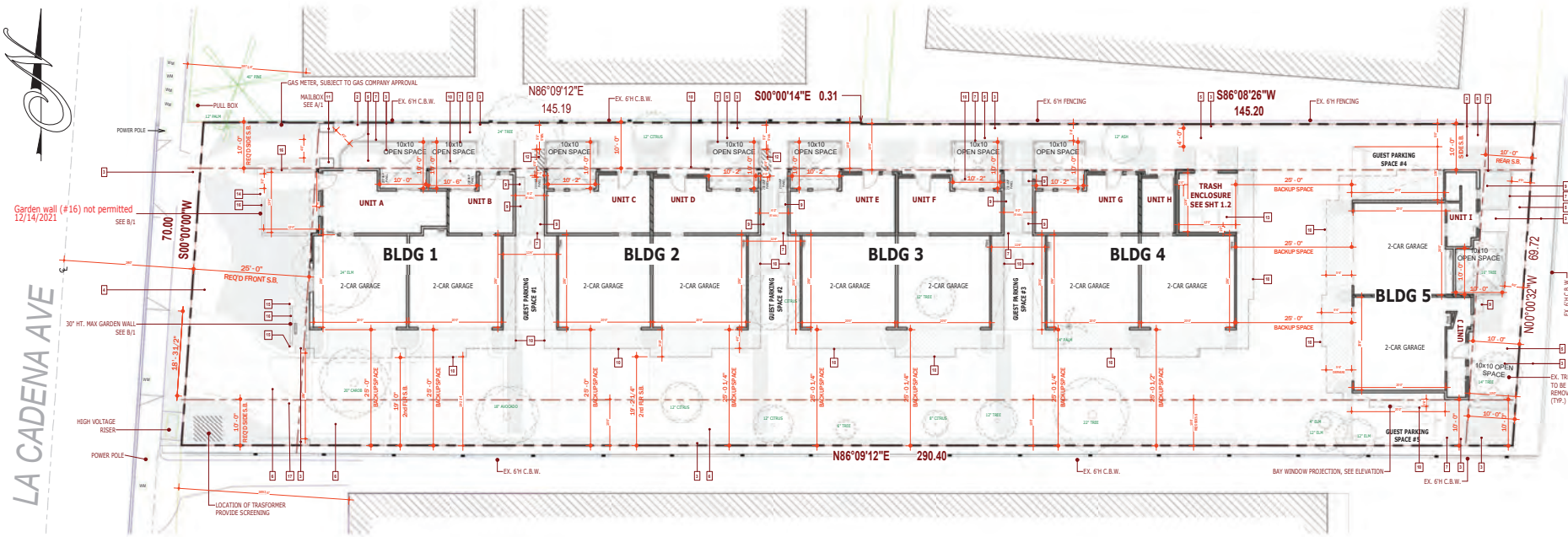
PROJECT:
10 UNITS MULTIFAMILY RESIDENTIALS (5 3-STORY DUPLEX)

1022 LACADENA AVE
ARCADIA CA 91007

PLOT DATE: 10/20/2021
9:01:42 AM

PROJECT NO: -
REVISION DATE

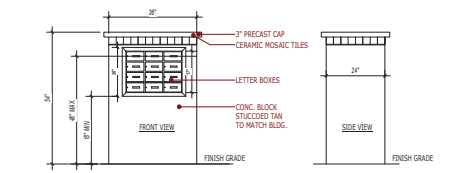
NOTES:



SITE PLAN
SCALE: 3/32" = 1'-0"

Garden wall (#16) not permitted
12/14/2021

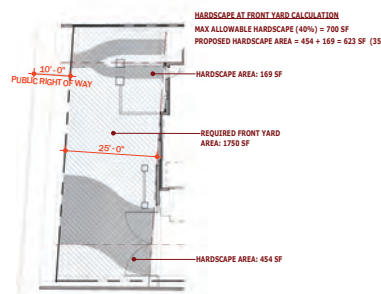
LA CADENA AVE



(A) MAILBOX DESIGN. TYP.
1/2" = 1'-0"

SITE PLAN KEYNOTE

| # | KEY DESCRIPTION |
|----|--|
| 1 | (N) 5'-0"HL. C&M. WALL SPLIT SIDE ON NEIGHBOR SIDE & STUCCO FIN. ON PROJECT SIDE |
| 2 | 4" H W.I. SIDE GATE. COLOR: BLACK |
| 3 | LANDSCAPE AREA |
| 4 | LAWN / TURF AREA |
| 5 | CONCRETE WALKWAY |
| 6 | CONCRETE DRIVEWAY |
| 7 | 5" H VINYL FENCING. COLOR: WHITE |
| 8 | EMERGENCY LIGHT |
| 9 | AC / MECHANICAL UNIT |
| 10 | BUILDING OVERHANG |
| 11 | LOCATION OF MAILBOX |
| 12 | LOCATION OF BICYCLE PARKING SPACES (2x45'). PROVIDE 5' BACKUP CLEARANCE |
| 13 | TRASH ENCLOSURE |
| 14 | 24"x24" 30" H PILASTER W/ CONC. CAP ATOP. STUCCOED TAN TO MATCH BLDG |
| 15 | 18"x18" 30" H PILASTER W/ CONC. CAP ATOP. STUCCOED TAN TO MATCH BLDG |
| 16 | 30" H MAX GARDEN WALL |
| 17 | 4" H W.I. DRIVEWAY GATE. COLOR: BLACK |



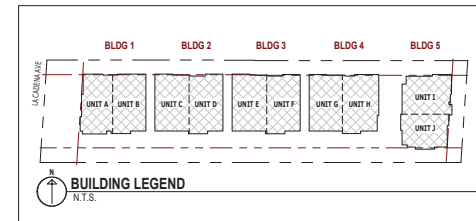
(B) FRONT YARD AREA CALCULATION
1/16" = 1'-0"

SITE PLAN NOTES

- APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMBERS OR ALPHABET LETTERS, AND BE A MINIMUM OF FOUR INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1
- ALL ROOF COVERINGS SHALL BE CLASS 'A' AS SPECIFIED IN BUILDING CODE 1505.1.1 RESIDENTIAL CODE R337.5 AND 1002.
- ROOF VALLEY FLASHING SHALL BE NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MIN 36 INCH WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET MEETING RUNNING THE FULL LENGTH OF THE VALLEY. RESIDENTIAL CODE R327.5.3 AND BUILDING CODE 705A.3
- RAIN GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER (R337.5.3, CBC705A.4)
- VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS. VENT OPENING SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WARE MESH WITH A MIN 1/16TH INCH OPENINGS AND SHALL NOT EXCEED 1/8TH INCH. VENTS SHALL NOT BE INSTALLED IN EAVES OR CORNICES.
- EMERGENCY EGRESS LIGHTING TO BE PROVIDED PER 2016 CALIFORNIA FIRE SECTION 1006
- CURBS, GUTTERS AND SIDEWALKS MAY BE REQUIRED TO BE REMOVED AND REPLACED PER CITY STANDARD

BUILDING DATA BREAKDOWN:

| UNIT | LIVING AREA | BLDG # | BED / BATH | PARKING PROVIDED | GARAGE (SQ. FT.) | LOT COVERAGE | PORCH / OVERHANG (SQ. FT.) | BALCONY (SQ. FT.) |
|--------|-------------|--------|------------|------------------|------------------|--------------|----------------------------|-------------------|
| UNIT A | 1,823 SF | 1 | 3/4 | 2 STANDARDS | 423 SF | 909 SF | 166 SF | 30 SF |
| UNIT B | 1,651 SF | 1 | 3/3 | 2 STANDARDS | 435 SF | 783 SF | 172 SF | 24 SF |
| UNIT C | 1,824 SF | 2 | 4/4 | 2 STANDARDS | 422 SF | 896 SF | 197 SF | 78 SF |
| UNIT D | 1,771 SF | 2 | 4/4 | 2 STANDARDS | 422 SF | 911 SF | 220 SF | 46 SF |
| UNIT E | 1,824 SF | 3 | 4/4 | 2 STANDARDS | 422 SF | 896 SF | 197 SF | 78 SF |
| UNIT F | 1,771 SF | 3 | 4/4 | 2 STANDARDS | 422 SF | 908 SF | 212 SF | 47 SF |
| UNIT G | 1,797 SF | 4 | 4/4 | 2 STANDARDS | 422 SF | 893 SF | 194 SF | 79 SF |
| UNIT H | 1,614 SF | 4 | 4/3 | 2 STANDARDS | 434 SF | 937 SF | 402 SF | 111 SF |
| UNIT I | 1,664 SF | 5 | 3/3 | 2 STANDARDS | 448 SF | 854 SF | 286 SF | 0 SF |
| UNIT J | 1,238 SF | 5 | 3/3 | 2 STANDARDS | 428 SF | 728 SF | 175 SF | 0 SF |
| TOTAL: | 17,078 SF | | | | 4,278 SF | 8,705 SF | 2,225 SF | 495 SF |



SCOPE OF WORK:

CONSTRUCT 10 UNITS MULTIFAMILY RESIDENTIALS (5 DUPLEX, 3 STORIES)
ALL EXISTING TO BE DEMOLISHED

LEGAL DESCRIPTION / DATA:

PROJECT DESCRIPTION: 10 UNITS CONDO
PROJECT ADDRESS: 1022 LA CADENA AVE
ARCADIA CA 91007
R-1 (HIGH DENSITY)
LOT SIZE: 20,848 SF
ACCESSOR PARCEL NUMBER: 6778-010-017
EXISTING USE: SINGLE FAMILY RESIDENCE
PROPOSED USE: 10 MULTI-FAMILY RESIDENCE (5 BUILDINGS)
NUMBER OF STORY: 3
DEMOLITION: ALL EXISTING UNITS
CONSTRUCTION TYPE: R-3U
FIRE SPRINKLER: V-B
NPPA-13D

RELEVANT CODES:

2019 CALIFORNIA RESIDENTIAL (CRC)
2019 CALIFORNIA ELECTRICAL (CEC)
2019 CALIFORNIA ENERGY CODE (EN)
2019 CALIFORNIA MECHANICAL (CMC)
2019 CALIFORNIA PLUMBING (CPC)
2019 CALIFORNIA FIRE CODE (CFC)
2019 CALIFORNIA BUILDING CODE (CBC)
2019 ENERGY (ENS) WITH LOCAL AMENDMENTS
2019 CALIFORNIA GREEN BUILDING STANDARD CODE AND CODES WITH LOCAL AMENDMENTS

PROJECT DATA:

| | ALLOWABLE / REQUIRED | PROPOSED |
|--------------------------|---|------------------------------|
| MAX BUILDING HEIGHT | 33'-0" | 33'-0" (3 STORIES) |
| FRONT SETBACK | 25'-0" | 25'-0" |
| SIDE SETBACK | 10'-0" | 10'-0" |
| REAR SETBACK | 10'-0" | 10'-0" |
| DENSITY | MIN: 9 (LOT AREA / 2200 SF) MAX: 14 (LOT AREA / 1450 SF) | 10 UNITS PROPOSED |
| PARKING PER UNIT | 20 SPACES (2 PER UNIT) | 20 SPACES (2 PER UNIT) |
| GUEST PARKING | 5 SPACES (1 PER 2 UNITS) | 5 SPACES (1 PER 2 UNITS) |
| | 25 SPACES REQUIRED | 25 SPACES TOTAL |
| BICYCLE PARKING PROVIDED | 2 SPACES (0.2 PER UNIT / 2 MIN) | 2 SPACES PROVIDED |
| OPEN SPACE PROVIDED | 100 SF PER UNIT | MIN. 100 SF PER UNIT (10x10) |

TREE PROTECTION NOTES:

- FOR EXISTING TREES TO REMAIN ON SITE, NO DAMAGE ALLOWED TO CANOPY OR ROOT SYSTEMS, PROTECTIVE FENCING AS NECESSARY, AND TREES ARE TO BE DEEP-WATERED 1-2 TIMES PER MONTH OR AS PER REQUIRED TO KEEP THEM HEALTHY UNTIL IRRIGATION IS INSTALLED.

CHECKED BY: **Checker**
SCALE: **As Indicated**
SHEET NAME:
SITE PLAN
SHEET NO:
1



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ARCHITECT SEAL:

PROJECT:
**10 UNITS MULTIFAMILY
RESIDENTIALS (5 3-STORY
DUPLEX)**

1022 LACADENA AVE
ARCADIA CA 91007

PLOT DATE: 10/20/2021
9:01:44 AM

PROJECT NO: -
REVISION DATE

NOTES:

CHECKED BY: **Checker**

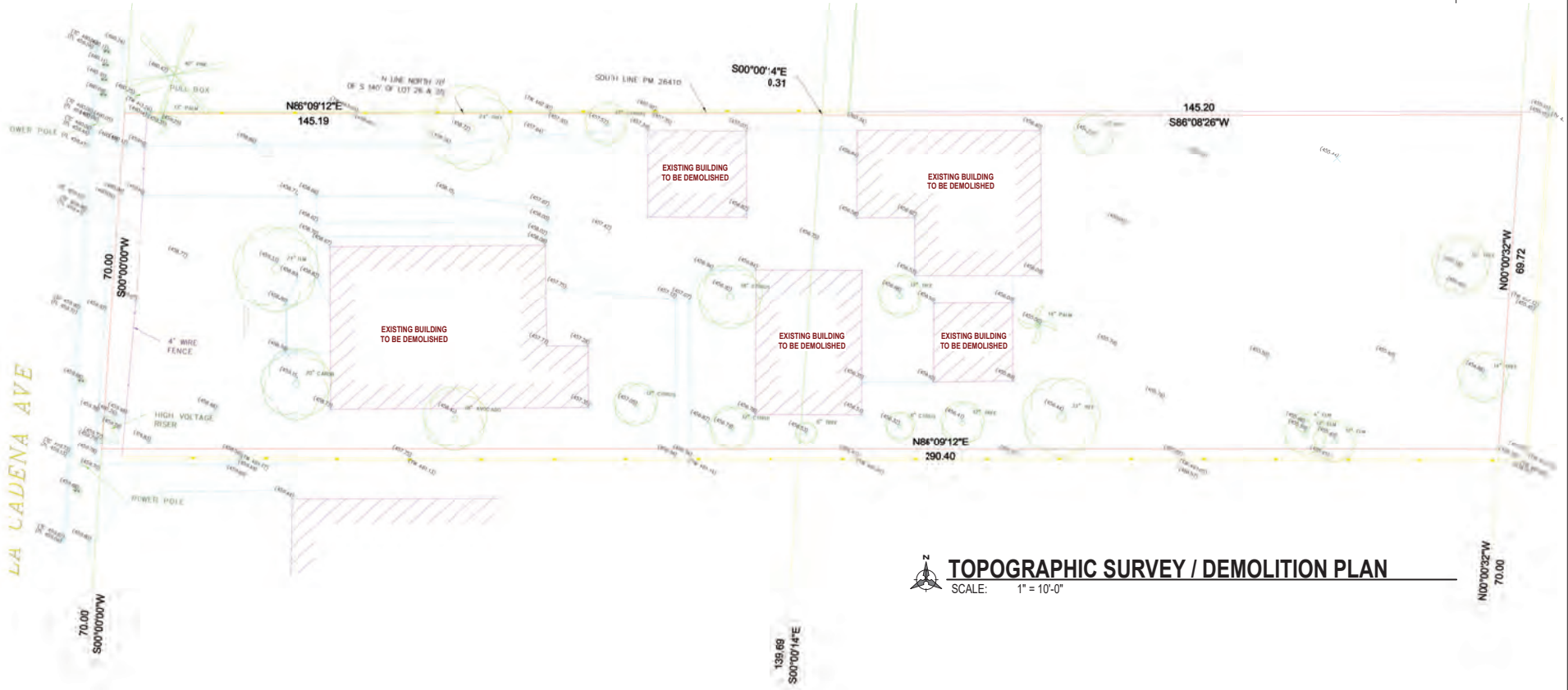
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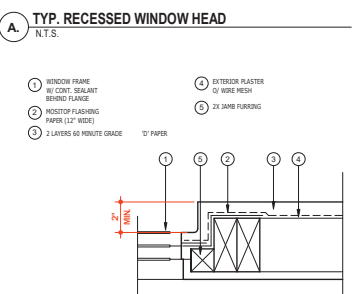
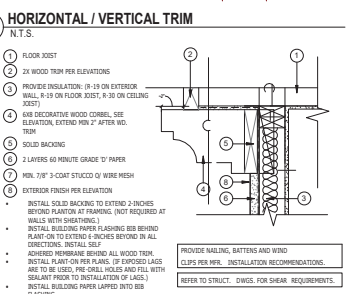
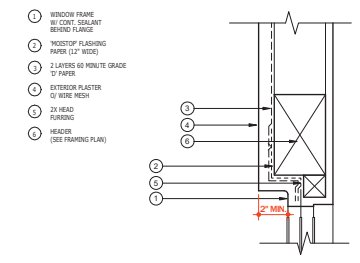
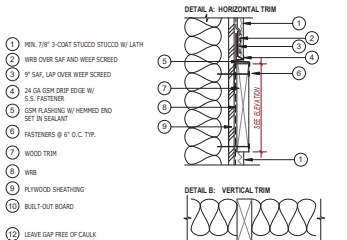
**TOPOGRAPHIC
SURVEY**

SHEET NO:

1.1



TOPOGRAPHIC SURVEY / DEMOLITION PLAN
SCALE: 1" = 10'-0"



DOOR SCHEDULE

| MFRK | NO. | ABBR. | DOOR TYPE | WIDTH | HEIGHT |
|------|-----|-----------|----------------------|--------|--------|
| 1* | 10 | GARAGE DR | APANEL GARAGES | 16'-0" | 7'-0" |
| 2* | 3 | SL | BIFOLD PATIO | 12'-0" | 8'-0" |
| 3* | 3 | DBL | DOUBLE PANEL | 3'-0" | 6'-8" |
| 4* | 7 | DBL | DOUBLE PANEL | 3'-0" | 8'-0" |
| 5* | 3 | DBL SC | DOUBLE PANEL | 4'-0" | 8'-8" |
| 6* | 1 | DBL FD | FRENCH/DBL | 6'-0" | 8'-0" |
| *2 | 1 | | METAL GATE | 4'-0" | 5'-6" |
| *3 | 2 | | METAL GATE | 3'-0" | 4'-0" |
| 7* | 5 | PD | POCKET DOOR | 2'-8" | 6'-8" |
| 8* | 3 | PD | POCKET DOOR | 3'-0" | 8'-0" |
| 9* | 2 | BD | SINGLE BARN DOOR | 2'-10" | 6'-8" |
| 10* | 9 | SCL | SINGLE PANEL | 2'-6" | 6'-8" |
| 11* | 21 | SCL | SINGLE PANEL | 2'-6" | 8'-0" |
| 12* | 8 | SCL | SINGLE PANEL | 2'-8" | 6'-8" |
| 13* | 16 | SCL | SINGLE PANEL | 2'-8" | 7'-0" |
| 14* | 34 | SCL | SINGLE PANEL | 2'-8" | 8'-0" |
| 15* | 12 | SC | SINGLE PANEL | 3'-0" | 7'-0" |
| 16* | 1 | SC | SINGLE PANEL | 3'-0" | 8'-0" |
| 17* | 1 | SLFG | SLIDING (FULL GLASS) | 5'-0" | 7'-0" |
| 18* | 5 | SL | SLIDING (FULL GLASS) | 5'-0" | 8'-0" |
| 19* | 2 | SL | SLIDING (FULL GLASS) | 3'-0" | 8'-0" |
| 20* | 1 | SL | SLIDING (FULL GLASS) | 6'-0" | 7'-0" |
| 21* | 1 | SL | SLIDING (FULL GLASS) | 6'-0" | 8'-0" |
| 22* | 2 | SL | SLIDING (FULL GLASS) | 8'-0" | 8'-0" |
| 23* | 1 | SL | SLIDING (FULL GLASS) | 8'-0" | 8'-0" |

WINDOW SCHEDULE

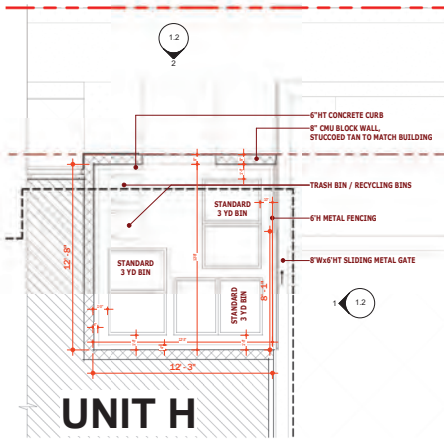
| MFRK | NO. | ABBR. | WINDOW TYPE | WIDTH | HEIGHT |
|------|-----|-------|-------------|-------|--------|
| 01 | 30 | AW | AWNING | 2'-0" | 2'-0" |
| 02 | 1 | AW | AWNING | 2'-6" | 2'-0" |
| 03 | 6 | AW | AWNING | 2'-6" | 2'-6" |
| 04 | 1 | CS | CASEMENT | 2'-0" | 4'-6" |
| 05 | 2 | CS | CASEMENT | 3'-0" | 4'-0" |
| 07 | 1 | CS | CASEMENT | 3'-0" | 4'-6" |
| 08 | 5 | FX | FIXED | 2'-0" | 2'-0" |
| 18 | 1 | FX | FIXED | 2'-0" | 3'-6" |
| 09 | 3 | FX | FIXED | 2'-0" | 4'-6" |
| 11 | 1 | SH | SINGLE HANG | 2'-0" | 4'-8" |
| 12 | 2 | SH | SINGLE HANG | 2'-0" | 6'-0" |
| 13 | 40 | SH | SINGLE HANG | 3'-0" | 5'-0" |
| 14 | 9 | SL | SLIDING | 4'-0" | 4'-6" |
| 15 | 1 | SL | SLIDING | 4'-6" | 4'-8" |
| 16 | 4 | SL | SLIDING | 4'-6" | 5'-0" |
| 17 | 29 | SL | SLIDING | 5'-0" | 4'-6" |
| 18 | 8 | SL | SLIDING | 5'-0" | 5'-0" |
| 19 | 1 | SL | SLIDING | 6'-0" | 4'-6" |

ABBREVIATIONS

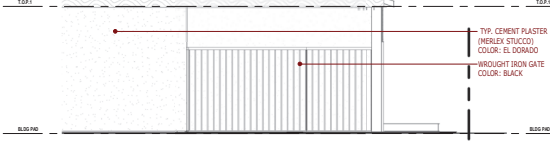
| | |
|------|----------------|
| AW | AWNING |
| BD | BARN DOOR |
| CS | CASEMENT |
| DBL | DOUBLE |
| FD | FRENCH DOOR |
| OSPC | OSSIFIED |
| PD | POCKET DOOR |
| SC | SOLID CORE |
| SH | SINGLE HANG |
| SK | SKYLIGHT |
| SL | SLIDER |
| TG | TEMPERED GLASS |
| TRPL | TRIPLE |

WINDOW NOTES:

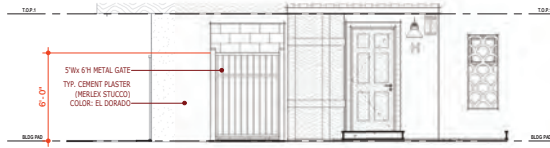
- MILGARD TUSCANY VINYL WINDOW, COLOR: BLACK
- ALL WINDOWS TO BE RECESSED BY MIN. 2" FROM EX. WALL



TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



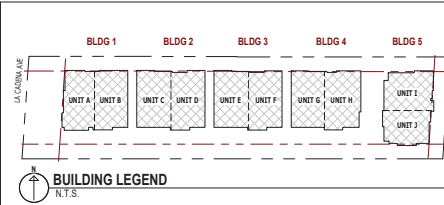
1 TRASH ENCLOSURE EAST ELEVATION
1/4" = 1'-0"



2 TRASH ENCLOSURE NORTH ELEVATION
1/4" = 1'-0"

BUILDING DATA BREAKDOWN:

| UNIT | LIVING AREA | BLDG # | BED / BATH | PARKING PROVIDED | GARAGE (SQ. FT.) | LOT COVERAGE | PORCH / OVERHANG | BALCONY (SQ. FT.) |
|--------|-------------|--------|------------|------------------|------------------|--------------|------------------|-------------------|
| UNIT A | 1,823 SF | 1 | 3 / 4 | 2 STANDARDS | 423 SF | 909 SF | 166 SF | 30 SF |
| UNIT B | 1,651 SF | 1 | 3 / 3 | 2 STANDARDS | 435 SF | 783 SF | 172 SF | 24 SF |
| UNIT C | 1,824 SF | 2 | 4 / 4 | 2 STANDARDS | 422 SF | 896 SF | 197 SF | 78 SF |
| UNIT D | 1,771 SF | 2 | 4 / 4 | 2 STANDARDS | 422 SF | 911 SF | 220 SF | 46 SF |
| UNIT E | 1,824 SF | 3 | 4 / 4 | 2 STANDARDS | 422 SF | 896 SF | 197 SF | 78 SF |
| UNIT F | 1,771 SF | 3 | 4 / 4 | 2 STANDARDS | 422 SF | 908 SF | 217 SF | 47 SF |
| UNIT G | 1,797 SF | 4 | 4 / 4 | 2 STANDARDS | 422 SF | 893 SF | 194 SF | 79 SF |
| UNIT H | 1,614 SF | 4 | 4 / 3 | 2 STANDARDS | 434 SF | 937 SF | 402 SF | 111 SF |
| UNIT I | 1,664 SF | 5 | 3 / 3 | 2 STANDARDS | 448 SF | 854 SF | 286 SF | 0 SF |
| UNIT J | 1,538 SF | 5 | 3 / 3 | 2 STANDARDS | 438 SF | 718 SF | 175 SF | 0 SF |
| TOTAL: | 17,078 SF | | | | 4,278 SF | 8,705 SF | 2,225 SF | 495 SF |



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ARCHITECT SEAL:

PROJECT:
10 UNITS MULTIFAMILY RESIDENTIALS (5 3-STORY DUPLEX)

1022 LACADENA AVE
ARCADIA CA 91007

PLOT DATE: 10/20/2021
9:01:52 AM

PROJECT NO: -
REVISION DATE

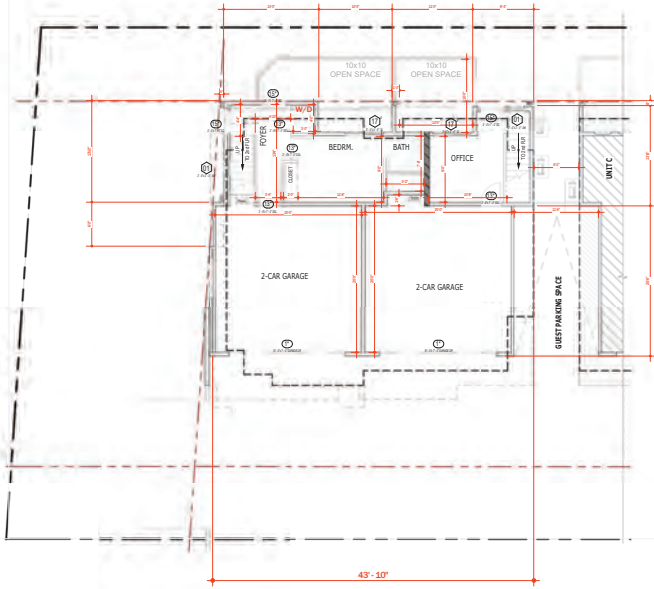
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CHECKED BY: **Checker**
SCALE: **As Indicated**

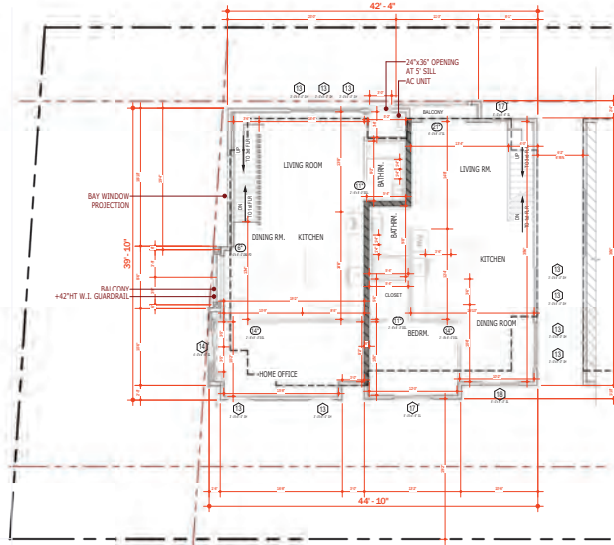
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SCHEDULE / AREA / TRASH ENCLOSURE PLAN

SHEET NO:

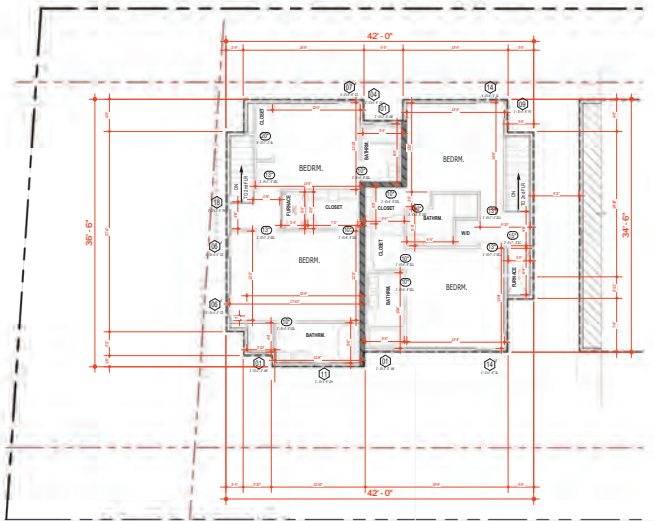
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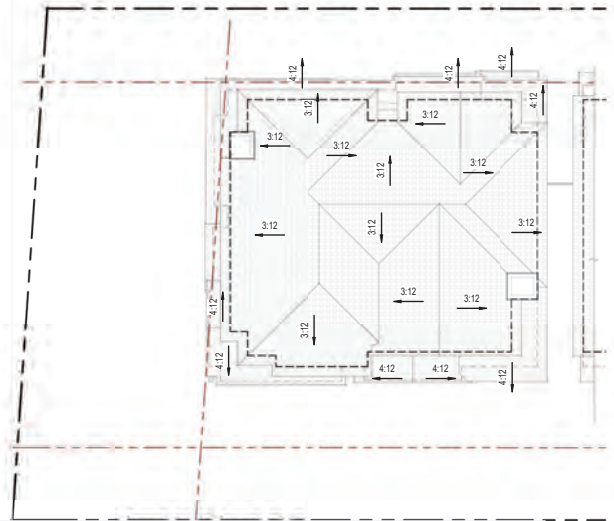
1st FLOOR PLAN - BLDG 1
SCALE: 1/8" = 1'-0"



2nd FLOOR PLAN - BLDG 1
SCALE: 1/8" = 1'-0"

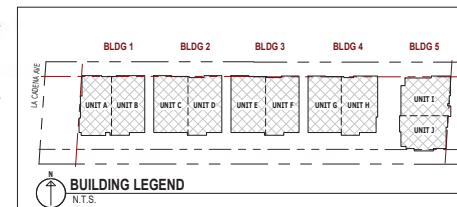


3rd FLOOR PLAN - BLDG 1
SCALE: 1/8" = 1'-0"



ROOF PLAN - BLDG 1
SCALE: 1/8" = 1'-0"

| UNIT A LIVING AREA | | UNIT B LIVING AREA | |
|-----------------------------|--------|-----------------------------|--------|
| A- 1ST FLR | 320 SF | B- 1ST FLR | 177 SF |
| A- 2ND FLR | 840 SF | B- 2ND FLR | 809 SF |
| A- 3RD FLR | 663 SF | B- 3RD FLR | 665 SF |
| Total Living Area: 1,823 SF | | Total Living Area: 1,651 SF | |



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ARCHITECT SEAL:

PROJECT:
**10 UNITS MULTIFAMILY
RESIDENTIALS (5 3-STORY
DUPLEX)**

1022 LACADENA AVE
ARCADIA CA 91007

PLOT DATE: 10/20/2021
9:01:58 AM

PROJECT NO: -
REVISION DATE

NOTES:

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SCALE: As Indicated

SHEET NAME:

**FLOOR / ROOF
PLAN - BLDG 1**

SHEET NO:

2



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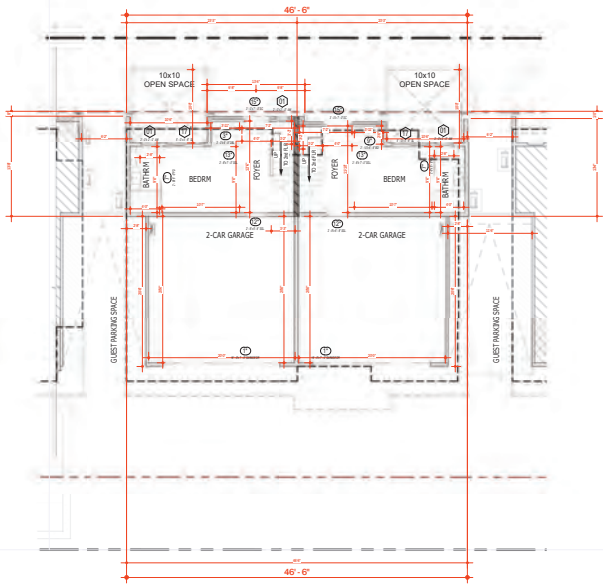
PROJECT:
**10 UNITS MULTIFAMILY
RESIDENTIALS (5 3-STORY
DUPLEX)**

1022 LACADENA AVE
ARCADIA CA 91007

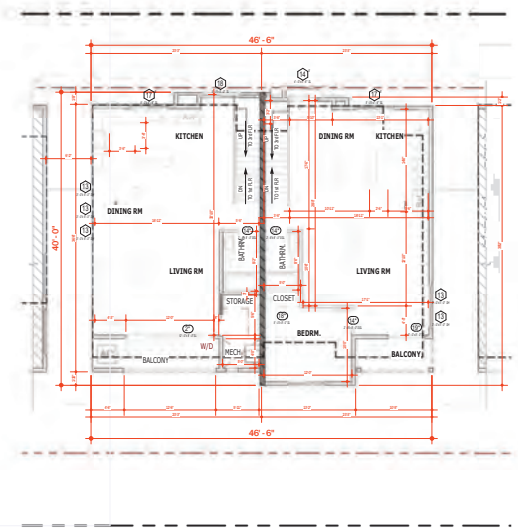
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PROJECT NO: -
REVISION DATE

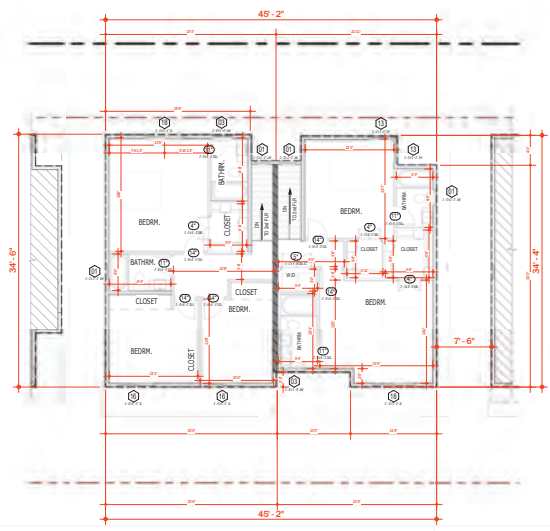
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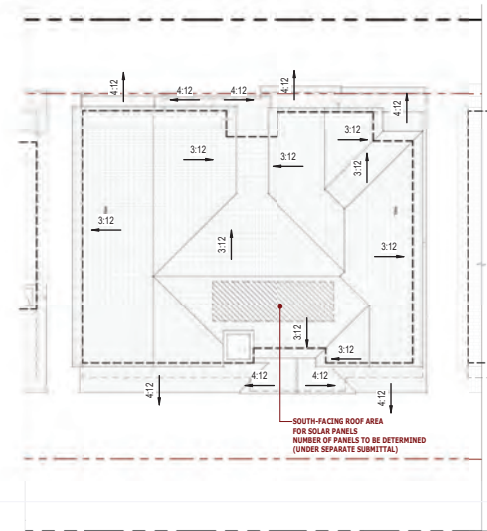
1st FLOOR PLAN - BLDG 2/3
SCALE: 1/8" = 1'-0"



2nd FLOOR PLAN - BLDG 2/3
SCALE: 1/8" = 1'-0"



3rd FLOOR PLAN - TYPE B
SCALE: 1/8" = 1'-0"



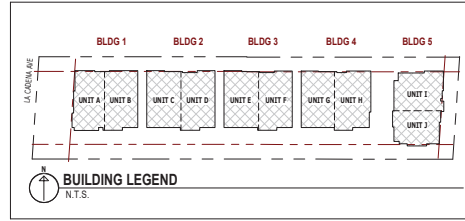
ROOF PLAN - TYPE B
SCALE: 1/8" = 1'-0"

| UNIT C LIVING AREA | |
|---------------------------|-----------------|
| C- 1ST FLR | 277 SF |
| C- 2ND FLR | 790 SF |
| C- 3RD FLR | 757 SF |
| Total Living Area: | 1,824 SF |

| UNIT D LIVING AREA | |
|---------------------------|-----------------|
| D- 1ST FLR | 269 SF |
| D- 2ND FLR | 837 SF |
| D- 3RD FLR | 665 SF |
| Total Living Area: | 1,771 SF |

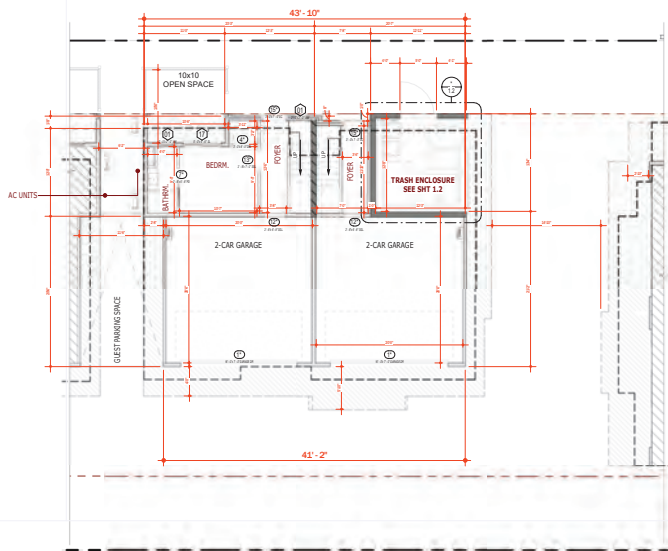
| UNIT E LIVING AREA | |
|---------------------------|-----------------|
| E- 1ST FLR | 277 SF |
| E- 2ND FLR | 790 SF |
| E- 3RD FLR | 757 SF |
| Total Living Area: | 1,824 SF |

| UNIT F LIVING AREA | |
|---------------------------|-----------------|
| F- 1ST FLR | 269 SF |
| F- 2ND FLR | 837 SF |
| F- 3RD FLR | 665 SF |
| Total Living Area: | 1,771 SF |

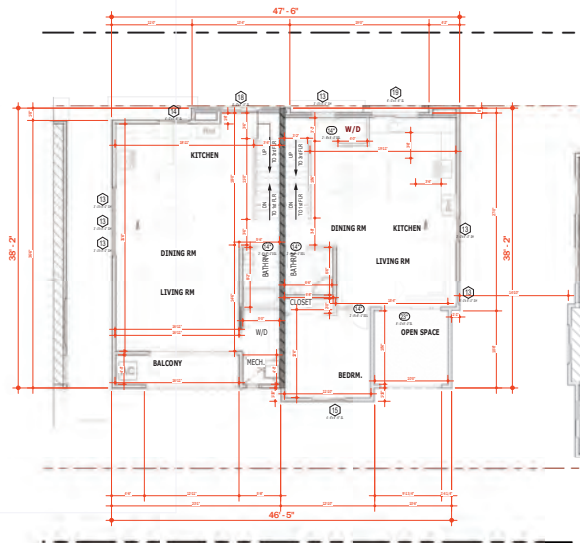


CHECKED BY: **Checker**
SCALE: **As Indicated**
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**FLOOR / ROOF
PLAN - BLDG 2/3**
SHEET NO:

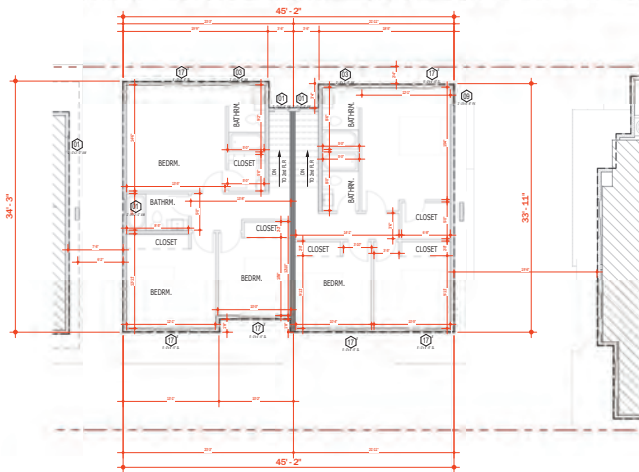
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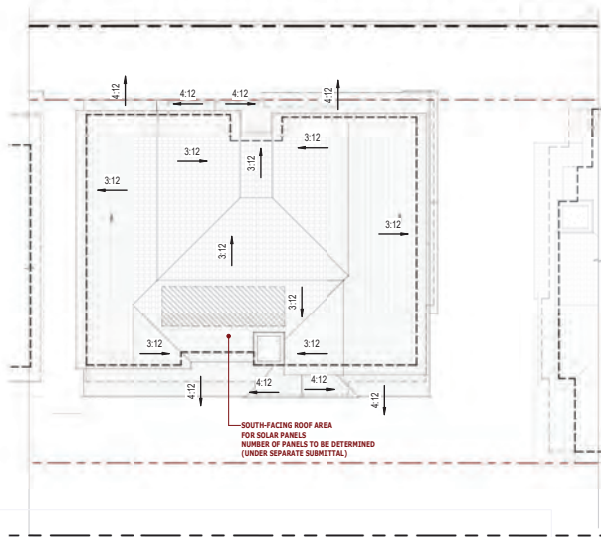
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SCALE: 1/8" = 1'-0"



2nd FLOOR PLAN - BLDG 4
SCALE: 1/8" = 1'-0"

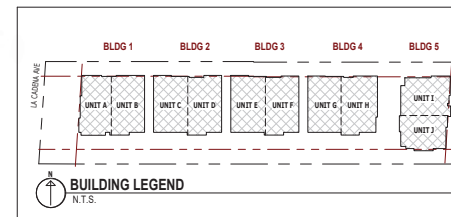


3rd FLOOR PLAN - BLDG 4
SCALE: 1/8" = 1'-0"



ROOF PLAN - BLDG 4
SCALE: 1/8" = 1'-0"

| UNIT G LIVING AREA | | UNIT H LIVING AREA | |
|-----------------------------|--------|-----------------------------|--------|
| G- 1ST FLR | 277 SF | H- 1ST FLR | 100 SF |
| G- 2ND FLR | 790 SF | H- 2ND FLR | 815 SF |
| G- 3RD FLR | 730 SF | H- 3RD FLR | 699 SF |
| Total Living Area: 1,797 SF | | Total Living Area: 1,614 SF | |



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ARCHITECT SEAL:

PROJECT:
**10 UNITS MULTIFAMILY
RESIDENTIALS (5 3-STORY
DUPLEX)**

1022 LACADENA AVE
ARCADIA CA 91007

PLOT DATE: 10/20/2021
9:02:10 AM

PROJECT NO: -
REVISION DATE

NOTES:

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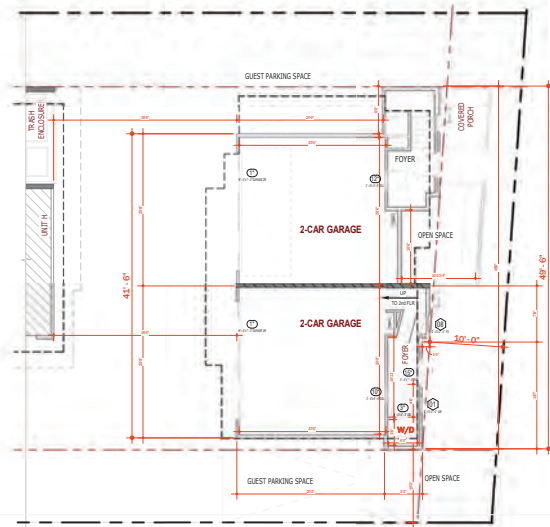
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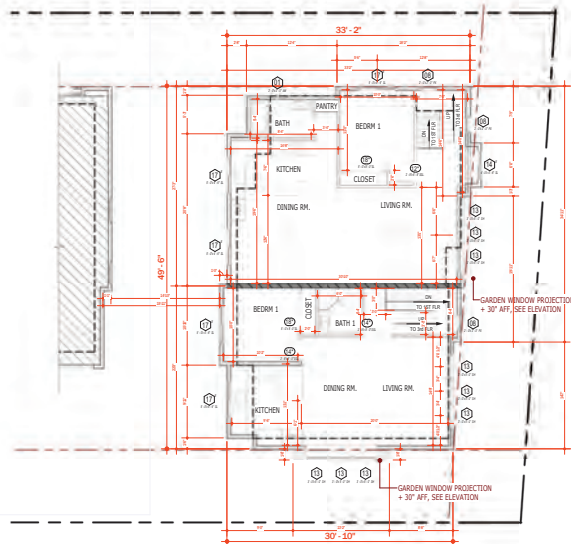
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PLAN - BLDG 4**

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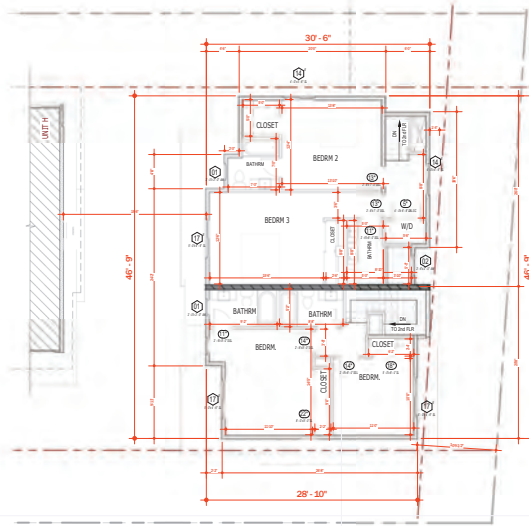
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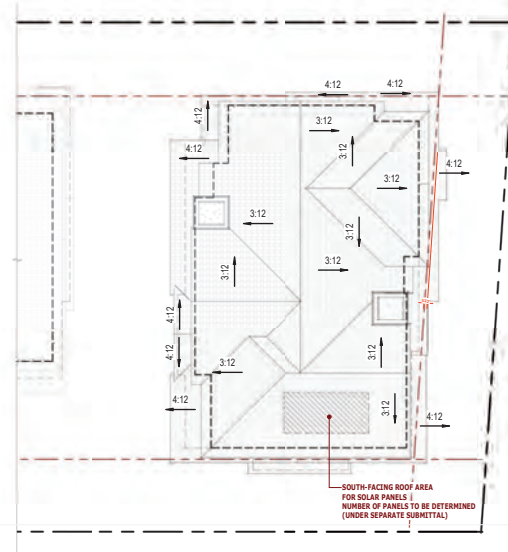
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SCALE: 1/8" = 1'-0"



2nd FLOOR PLAN - BLDG 5
SCALE: 1/8" = 1'-0"



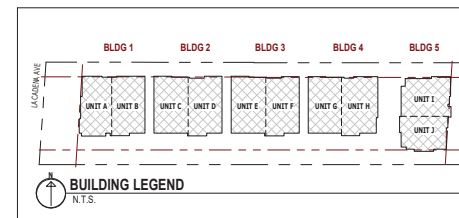
3rd FLOOR PLAN - BLDG 5
SCALE: 1/8" = 1'-0"



ROOF PLAN - BLDG 5
SCALE: 1/8" = 1'-0"

| UNIT I LIVING AREA | |
|---------------------------|-----------------|
| I- 1ST FLR | 120 SF |
| I- 2ND FLR | 854 SF |
| I- 3RD FLR | 690 SF |
| Total Living Area: | 1,664 SF |

| UNIT J LIVING AREA | |
|---------------------------|-----------------|
| J- 1ST FLR | 116 SF |
| J- 2ND FLR | 699 SF |
| J- 3RD FLR | 523 SF |
| Total Living Area: | 1,338 SF |



PDS STUDIO
ARCHITECTURE + DESIGN

711 S. FIRST AVE.
ARCADIA, CA 91006
TEL: 626-294-9402
WWW.PDS-STUDIO.COM

ARCHITECT SEAL:

PROJECT:
**10 UNITS MULTIFAMILY
RESIDENTIALS (5 3-STORY
DUPLEX)**

1022 LACADENA AVE
ARCADIA CA 91007

PLOT DATE: 10/20/2021
9:02:16 AM

PROJECT NO: -
REVISION DATE

NOTES:

CHECKED BY: Checker

SCALE: As Indicated

SHEET NAME:

**FLOOR / ROOF
PLAN - BLDG 5**

SHEET NO:

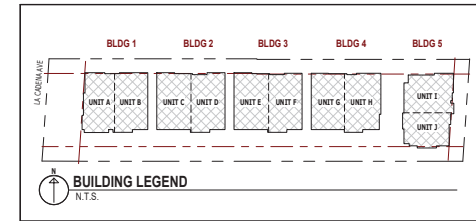
5

EXTERIOR FINISH SCHEDULE

1. CONCRETE ROOF TILE (EAGLE ROOFING TILE, ESR-2250)
 - ROOF PROFILE: MALIBU, COLOR: ARCADIA CANYON BROWN #2581
2. CEMENT PLASTER (MERLEX STUCCO)
 - FINISH: SAND STUCCO FINISH, COLOR: P-6 EL DORADO
3. EXTERIOR WINDOWS (MILGARD WINDOWS)
 - COLLECTION: TUSCANY, COLOR: BLACK
4. STUCCOED TRIM (MERLEX STUCCO)
 - STUCCOED FINISH, COLOR: P-174 DESERT BEIGE
5. DECORATIVE WOOD CORBELS (MILLWORK BY LUMBER YARD)
 - 3X3 PAINTED WOOD CORBEL ON 2X8 W. TRIM
 - COLOR: MIDNIGHT SPRUCE DE6294 (DUNN EDWARD PAINT)
6. FASCIA BOARD (MILLWORK BY LUMBER YARD)
 - 2x6" FASCIA BOARD
 - COLOR: MIDNIGHT SPRUCE DE6294 (DUNN EDWARD PAINT)
7. WOODWORK / WALL PLANTERS (WOODWORK BY OTHERS)
 - WOOD, PAINTED
 - COLOR: MIDNIGHT SPRUCE DE6294 (DUNN EDWARD PAINT)
8. EXT. LIGHTING (QUOIZEL LIGHTING)
 - MARINE COLLECTION
 - COLOR: BRONZE
9. DOWNSPOUT/LEADERHEAD/RAIN GUTTERS (IRONWORKS BY OTHERS)
 - COLOR COATED ALUMINUM
 - COLOR: RUSTIC BROWN
10. GARAGE DOORS (AMARR GARAGE DOOR)
 - COLLECTION: LINCOLN
 - COLOR: STAINED DARK BROWN
11. SHUTTERS (MILLWORK BY OTHERS)
 - MDF, PAINTED
 - COLOR: MIDNIGHT SPRUCE DE6294 (DUNN EDWARD PAINT)
12. WROUGHT IRON (IRONWORK BY OTHERS)
 - PAINTED BROWN

EXTERIOR LIGHTING SCHEDULE

- | | | |
|--|--|---|
| <p>A:</p>  <p>MRS410WT WALL MOUNT QUOIZEL EXT. LIGHTING MARINE COLLECTION FINISH: BRONZE 15.00" H x 8.50" W x 9.00" D</p> | <p>B:</p>  <p>MRE1939WT HANGING LIGHTING QUOIZEL EXT. LIGHTING MARINE COLLECTION FINISH: BRONZE 20.00" H x 9.50" W x 9.50" D</p> | <p>C:</p>  <p>HB4801MP-237 HAMPTON BAY FINISH: BRONZE 11" H, 8" W, 11" D <i>(MOTION SENSOR WALL LANTERN TO BE USED AT SIDES FOR DOWNWARD LIGHTING)</i></p> |
|--|--|---|



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ARCHITECT SEAL:

PROJECT:
**10 UNITS MULTIFAMILY
RESIDENTIALS (5 3-STORY
DUPLIX)**

1022 LACADENA AVE
ARCADIA CA 91007

PLOT DATE: 10/20/2021
9:02:22
EDM

PROJECT NO: -
REVISION DATE

NOTES:

CHECKED BY: **Checker**

SCALE: **As Indicated**

SHEET NAME:
**ELEVATIONS -
BLDG 1**

SHEET NO:

6



SIDE (NORTH) ELEVATION - BLDG 1

SCALE: 3/16" = 1'-0"



FRONT (WEST) ELEVATION - BLDG 1

SCALE: 3/16" = 1'-0"



SIDE (SOUTH) ELEVATION - BLDG 1

SCALE: 3/16" = 1'-0"



REAR (EAST) ELEVATION - BLDG 1

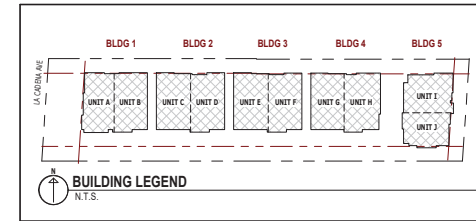
SCALE: 3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE

1. CONCRETE ROOF TILE (EAGLE ROOFING TILE, ESR-2250)
 - ROOF PROFILE: MALIBU, COLOR: ARCADIA CANYON BROWN #2581
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 - FINISH: SAND STUCCO FINISH, COLOR: P-6 EL DORADO
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 - COLOR: MIDNIGHT SPRUCE DE6294 (DUNN EDWARD PAINT)
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 - PAINTED BROWN

EXTERIOR LIGHTING SCHEDULE

- | | | |
|--|--|---|
| <p>A:</p> <p>MRE5410WT WALL MOUNT QUOIZEL EXT. LIGHTING MARINE COLLECTION FINISH: BRONZE 15.00" H x 8.50" W x 9.00" D</p> | <p>B:</p> <p>MRE1909WT HANGING LIGHTING QUOIZEL EXT. LIGHTING MARINE COLLECTION FINISH: BRONZE 20.00" H x 9.50" W x 9.50" D</p> | <p>C:</p> <p>HB4801MP-237 HAMPTON BAY FINISH: BRONZE 11"H, 8"W, 11"D (MOTION SENSOR WALL LANTERN TO BE USED AT SIDES FOR DOWNWARD LIGHTING)</p> |
|--|--|---|



SIDE (NORTH) ELEVATION - BLDG 2 / 3

SCALE: 3/16" = 1'-0"



FRONT (WEST) ELEVATION - BLDG 2 / 3

SCALE: 3/16" = 1'-0"



SIDE (SOUTH) ELEVATION - BLDG 2 / 3

SCALE: 3/16" = 1'-0"



REAR (EAST) ELEVATION - BLDG 2 / 3

SCALE: 3/16" = 1'-0"



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ARCHITECT SEAL:

PROJECT:
**10 UNITS MULTIFAMILY
RESIDENTIALS (5 3-STORY
DUPLEX)**

1022 LACADENA AVE
ARCADIA CA 91007

PLOT DATE: 10/20/2021
9:02:36 AM

PROJECT NO: -
REVISION DATE

NOTES:

CHECKED BY: **Checker**

SCALE: **As Indicated**

SHEET NAME:
**ELEVATIONS -
BLDG 2 / 3**

SHEET NO:

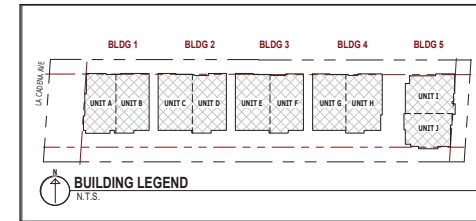
7

EXTERIOR FINISH SCHEDULE

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 - ROOF PROFILE: MALIBU, COLOR: ARCADIA CANYON BROWN #2581
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 - FINISH: SAND STUCCO FINISH, COLOR: P-6 EL DORADO
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EXTERIOR LIGHTING SCHEDULE

- | | | |
|---|--|---|
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|---|--|---|



SIDE (NORTH) ELEVATION - BLDG 4

SCALE: 3/16" = 1'-0"



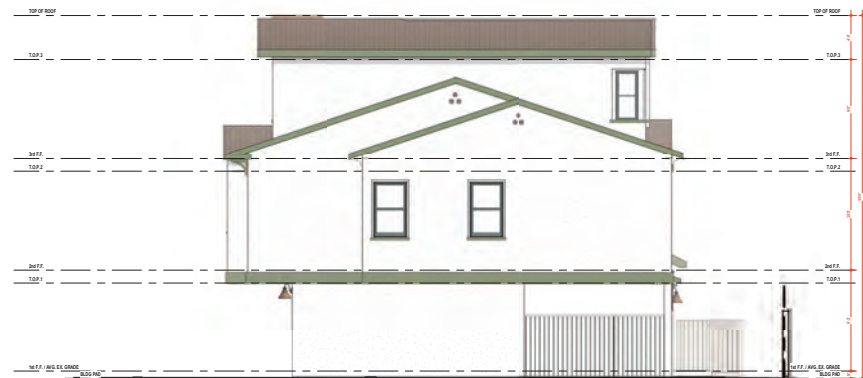
FRONT (WEST) ELEVATION - BLDG 4

SCALE: 3/16" = 1'-0"



SIDE (SOUTH) ELEVATION - BLDG 4

SCALE: 3/16" = 1'-0"



REAR (EAST) ELEVATION - BLDG 4

SCALE: 3/16" = 1'-0"



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ARCHITECT SEAL:

PROJECT:
**10 UNITS MULTIFAMILY
RESIDENTIALS (5 3-STORY
DUPLIX)**

1022 LACADENA AVE
ARCADIA CA 91007

PLOT DATE: 10/20/2021
9:02:32
EDM

PROJECT NO: -
REVISION DATE

NOTES:

CHECKED BY: Checker

SCALE: As Indicated

SHEET NAME:

**ELEVATIONS -
BLDG 4**

SHEET NO:

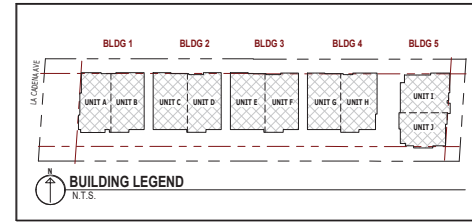
8

EXTERIOR FINISH SCHEDULE

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EXTERIOR LIGHTING SCHEDULE

- | | | |
|--|--|--|
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|--|--|--|



711 S. FIRST AVE.
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ARCHITECT SEAL:

PROJECT:
**10 UNITS MULTIFAMILY
RESIDENTIALS (5 3-STORY
DUPLEX)**

1022 LACADENA AVE
ARCADIA CA 91007

PLOT DATE: 10/20/2021
9:02:37
DM

PROJECT NO: -
REVISION DATE

NOTES:

CHECKED BY: **Checker**

SCALE: **As Indicated**

SHEET NAME:
**ELEVATIONS -
BLDG 5**

SHEET NO:

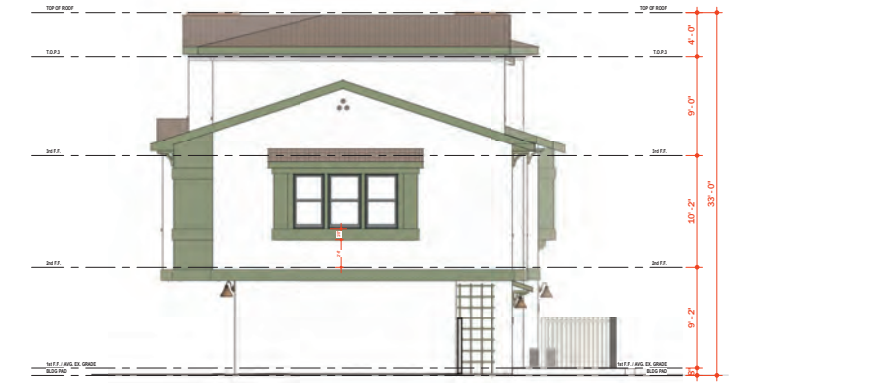
9



REAR (EAST) ELEVATION - BLDG 5
SCALE: 3/16" = 1'-0"



FRONT (WEST) ELEVATION - BLDG 5
SCALE: 3/16" = 1'-0"



SIDE (SOUTH) ELEVATION - BLDG 5
SCALE: 3/16" = 1'-0"



SIDE (NORTH) ELEVATION - BLDG 5
SCALE: 3/16" = 1'-0"

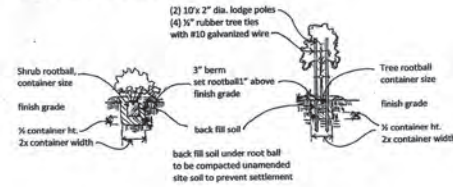
Existing Trees Legend

| Symbol | DBH (Inches) | Description | Action Remain X Remove | Comments |
|--------|--------------|------------------|---------------------------------|---------------------------------|
| △ | 42 | Incense Cedar | X | neighbor's tree to be protected |
| △ | 12 | Mexican Fan palm | X | |
| △ | 24 | elm | X | |
| △ | 20 | elm | X | |
| △ | 24 | strawberry guava | X | |
| △ | 18 | avocado | X | |
| △ | 12 | citrus | X | |
| △ | 12 | citrus | X | |
| △ | 18 | citrus | X | |
| △ | 12 | citrus | X | |
| △ | 6 | cleander | X | |
| △ | 12 | crape myrtle | X | |
| △ | 8 | citrus | X | |
| △ | 12 | fig | X | |
| △ | 14 | Mexican Fan palm | X | |
| △ | 22 | pecan | X | |
| △ | 12 | avocado | X | |
| △ | 8 | elm | X | |
| △ | 12 | elm | X | |
| △ | 12 | elm | X | |
| △ | 16 | pecan | X | |
| △ | 14 | edible fig | X | |

Planting Notes

The backfill mix for use around the root ball of all trees and shrubs shall consist of the following formula:
 2/3 Native soil
 1/3 Organic amendment of composted wood mulch
 1 lb/cyrd. of backfill mix 12-12 commercial fertilizer
 agriform or eq. time released fertilizing tablets
 Fertilizer tablets shall be Agriform, 21 gram tablets (20-10-5) in quantities recommended by the manufacturer.
 Place tablets at half the depth of the root ball.
 Recommended thirty (30) days after installation all areas shall be fertilized with Best Fertilizer 16-16-8 or approved equal, applied at the rate of five pounds per 1000 square feet (By Owner or Owner's maintenance service)
 All new lawn areas shall retro-filled to a depth of 8" with 3" of nitrogen stabilized organic amendment of composted wood mulch.
 All planter areas to be covered with 3" of shredded cedar or reewood shavings or bark

Typical Shrub and Tree Planting (not to scale)



Planting Legend

| Shrubs | Symbol | Size | Qty | Botanical name | Common name | Variety/Remarks | WUCOLS |
|--------|--------|--------|-----|--------------------------|-----------------------|-----------------|--------|
| | A | 1-gal | 54 | Agapanthus a | Lily of the Nile | 'Peter Pan' | M |
| | AB | 15-gal | 9 | Agave attenuata | Fossil Agave | 'You're Blue' | L/V/L |
| | AV | 15-gal | 2 | Agave viviparica | Octopus Agave | | L/V/L |
| | A | 5-gal | 51 | Aloe striata | Coral Aloe | | L |
| | CA | 5-gal | 6 | Callistemon viminalis | Dear's Bottle Brush | 'Little John' | L |
| | CH | 5-gal | 3 | Chondropetalum tectorum | Small Cape Rush | | M |
| | C | 15-gal | 21 | lex oreata | Japanese Holly | | M |
| | K | 1-gal | 56 | Kalanchoe luciae | Paddle plant | 'Sky Pencil' | L |
| | L | 5-gal | 18 | Lavandula stoechas | Spanish Lavender | 'Dido Quasi' | L |
| | LH | 5-gal | 20 | Lavandula angustifolia | English Lavender | 'Hidcote' | L |
| | LJ | 15-gal | 6 | Ligustrum j | wax leaf privet | 'Toxarium' | M |
| | N | 5-gal | 17 | Nandina domestica | Dwarf Heavenly Bamboo | 'Nana' | M |
| | PK | 5-gal | 6 | Pittosporum crassifolium | Karo | 'Nana' | M |
| | PT | 5-gal | 30 | Pittosporum Tobira | Variiegated Tobira | 'Cream de Mint' | M |
| | SM | 5-gal | 9 | Salvia microphylla | Cherry Sage | 'Hot Lips' | M |

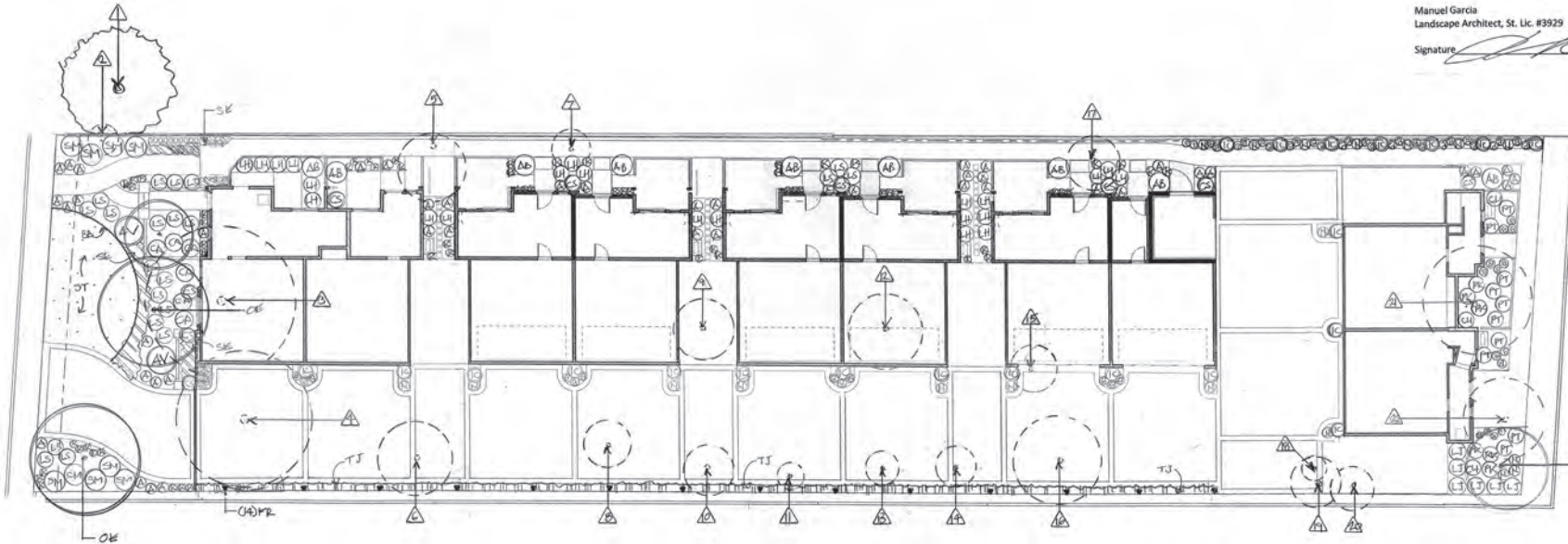
| Trees | Symbol | Size | Qty | Botanical name | Common name | Variety/Remarks | WUCOLS |
|-------|--------|---------|-----|------------------------|------------------|---------------------|--------|
| | TD | 24" box | 2 | Taxus occidentalis | Western Redcedar | 'SE' | L |
| | CS | 15-gal | 8 | Cupressus sempervirens | Italian Cypress | 'Tiny Tower' | L |
| | LG | 24" box | 1 | Lagerströmia indica | Crape Myrtle | 'Pepinomie Land' | M |
| | OE | 30" box | 2 | Olea europaea | Olive tree | 'Bonita' multi-stem | L |

| Miscellaneous | Symbol | Description | WUCOLS |
|---------------|--------|--|--------|
| | BB | 1"x4" 1"x8" plastic header board, installed w/plastic stakes and plated screws 3" o.c. | NA |
| | FR | (14) 5-gal Ficus repens; creeping Fig vine on a stake, train to wall; planted 15" o.c. | M |
| | SE | Senecio lalmoides, Groundsel; ground cover, from flats, planted 12" O.C. | L |
| | ST | St. Augustine sod lawn, warm season turf (WST) | M/H |
| | TJ | (94) 1-gal Trachelospermum jasminoides; Star Jasmine groundcover, from flats planted 2" o.c. | M |

Acknowledgement:
 I agree to comply with the requirements of the City of Arcadia water Efficient Landscaping Ordinance and submit a complete Landscape Documentation Package.

Manuel Garcia
 Landscape Architect, St. Lic. #3929

Signature _____ Date 5-26-21



LANDSCAPE PLAN

Project: 1022 La Cadena Ave
 Arcadia, CA 91007

Legal Description: APN 5776-008-006
 Tract # 3430

MANUEL GARCIA
 LANDSCAPE ARCHITECT
 228 E. CAMDEN ST. GLENORA, CA 91740
 ST. LIC. #3929
 CELL: (626)665-5002 / OFFICE: (626)335-2733
 MG.LANDARCH@GMAIL.COM

| May 27, 2021 | |
|------------------------|------------------------------|
| Revisions performed by | DATE |
| MG | 6-10-21 |
| MG | 8-13-21 |
| MG | 9-18-21 |
| | |
| | |
| | |
| | |
| Scale 3/32" = 1'-0" | Sheet <u> </u> of <u> </u> |
| ↑ N | L-1 |

Attachment No. 6

Preliminary Exemption Assessment



CITY OF
ARCADIA

PRELIMINARY EXEMPTION ASSESSMENT

| | |
|---|--|
| 1. Name or description of project: | Tentative Tract Map No. TTM 21-06 (83604) and Multiple Family Architectural Design Review No. MFADR 21-04 for a 10-unit residential condominium development |
| 2. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15' or 7 1/2' topographical map identified by quadrangle name): | 1022 La Cadena Avenue (between Fairview Avenue and W. Duarte Ave) |
| 3. Entity or person undertaking project: | A. |
| | B. Other (Private) |
| | (1) Name Philip Chan (PDS Studio Inc.) |
| | (2) Address 711 S. 1 st Ave Arcadia, CA 91066 |
| 4. Staff Determination: | <p>The Lead Agency's Staff, having undertaken and completed a preliminary review of this project in accordance with the Lead Agency's "Local Guidelines for Implementing the California Environmental Quality Act (CEQA)" has concluded that this project does not require further environmental assessment because:</p> |
| a. <input type="checkbox"/> | The proposed action does not constitute a project under CEQA. |
| b. <input type="checkbox"/> | The project is a Ministerial Project. |
| c. <input type="checkbox"/> | The project is an Emergency Project. |
| d. <input type="checkbox"/> | The project constitutes a feasibility or planning study. |
| e. <input checked="" type="checkbox"/> | <p>The project is categorically exempt.</p> <p>Applicable Exemption Class: 15332 – Class 32 (Infill Development)</p> |
| f. <input type="checkbox"/> | <p>The project is statutorily exempt.</p> <p>Applicable Exemption:</p> |
| g. <input type="checkbox"/> | <p>The project is otherwise exempt on the following basis:</p> |
| h. <input type="checkbox"/> | <p>The project involves another public agency which constitutes the Lead Agency.</p> <p>Name of Lead Agency:</p> |

Date: 9/20/21

Staff: Vanessa Quiroz, Associate Planner

Attachment No. 7

Public Comments

From: [Suki Wong](#)
To: [Vanessa Quiroz](#)
Subject: Planning Commission- 1022 La Cadena Ave
Date: Tuesday, November 23, 2021 11:24:11 AM

<<https://s3.amazonaws.com/staticmediafiles/media/sights/iron-icon-color.png>> IRONSCALES couldn't recognize this email as this is the first time you received an email from this sender sukissw@gmail.com

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Hi Ms. Vanessa Quiroz,

Regarding the new ten units will be built, I would like to address the issue about street parking. Since there are already either apartments or condos along La Cadena Ave, street parking is extremely full and very difficult to find one. Needless to say, it is more severe especially on street sweeping days. Further, the cars or trucks or SUVs parked on the street sometimes obstruct our visibility to enter the street and cause accidents easily. Another new 8 condo units on La Cadena Ave are almost completed and it will adversely worsen the issue.

I truly hope the City of Arcadia can take a close look on the parking issue as it seems too many condos are approved to be built on house lots. More importantly, please ensure this construction plan must provide enough parking spaces for their own residents and visitors. The two-car garage for each condo unit (if 3 or more bedrooms) has no way to satisfy the needs. Or at least cars can be parked in front of their garage.

Thank you for your consideration.

Best regards,
Suki

From: [Victoria Hughes](#)
To: [Vanessa Quiroz](#)
Subject: 1022 La Cadena, Arcadia COMMENTS
Date: Tuesday, November 23, 2021 4:34:33 PM

<<https://s3.amazonaws.com/staticmediafiles/media/sights/iron-icon-color.png>> IRONSCALES couldn't recognize this email as this is the first time you received an email from this sender victoria-hughes@att.net

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Dear Ms. Quiroz,

My name is Victoria Hughes and I reside at 460 Fairview Ave,#9, Arcadia. My unit is congruent to the North border of the proposed project. I have reviewed the plans on line and was unclear as to a couple of items.

1. It does not seem clear as to the material being used at the North property line. I think that a block wall would certainly be required to separate such a large project from our backyards., especially since you are disgustingly allowing 3 stories so that we no longer have any privacy.

2. There are two very old, extremely tall, trees on the property. One is located in the very rear southwest corner and the other on the southern border. It would be appalling for a planning commission to allow these beautiful trees to be destroyed for want of another being made.

I grew up in Arcadia. As a planning commission you have been tasked with the protection of the beautiful city of Arcadia. I'm sorry to say that you have done a poor job. Pretty soon we'll look like a concrete jungle where you can hear your neighbors brushing their teeth and have to park on the street because you allow anyone minimal setbacks and barely 1 guest parking required so we look like downtown LA. You had chances to curb this 20 plus years ago and instead you encourage it. Arcadia has done nothing but decline. How many years before you eliminate everything green. Try breathing that!

Victoria Hughes



**ARCADIA PLANNING COMMISSION
REGULAR MEETING MINUTES
TUESDAY, NOVEMBER 9, 2021**

CALL TO ORDER Commissioner Thompson called the meeting to order at 7:24 p.m. in the Council Chamber and announced that he would be acting as Chair for the meeting.

PLEDGE OF ALLEGIANCE

ROLL CALL

PRESENT: Commissioners Chan, Thompson, and Tsoi
ABSENT: Chair Wilander and Vice Chair Lin

It was moved by Commissioner Chan seconded by Commissioner Thompson to excuse Chair Wilander and Vice Chair Lin from the meeting. Without objection, the motion was approved.

SUPPLEMENTAL INFORMATION FROM STAFF REGARDING AGENDA ITEMS

There was no supplemental information.

PUBLIC COMMENTS (5 minute time limit per person)

There were none.

PUBLIC HEARING

1. **Resolution No. 2084** – Approving a new private gated development with a Tentative Tract Map for 33 multi-family, detached residential units that includes a parking modification, and the removal and encroachment of protected trees at 2607 S. Santa Anita Avenue

Recommendation: Adopt Resolution No. 2084

Applicant: Santa Anita BEREC, LLC, on behalf of the property owner, Arcadia Congregational Church

Commissioner Thompson introduced the item and Assistant Planner Edwin Arreola presented the staff report.

Commissioner Thompson asked if the Applicant would like to speak on the item.

Developer Matt Livingston of RC Homes responded. He answered several questions of the Commissioners related to parking, specifically the availability of guest parking on site.

Commissioner Thompson opened the public hearing and asked if there were any speakers in support or opposition to the item.

Three speakers spoke in support of the project:

1. Jolene Cadenbach, Pastor of Arcadia Congregational Church
2. Corinne Patera – Moderator of Arcadia Congregational Church
3. Joann Seaman – Member of the Congregation

There were no speakers in opposition to the project.

MOTION- PUBLIC HEARING

It was moved by Commissioner Chan, seconded by Commissioner Thompson, to close the public hearing. Without objection, the motion was approved.

DISCUSSION

Commissioner Tsoi was in support of the project. He appreciated the variety of units available, some with the added option of a driveway to park an additional car. He noted the developer's sensitivity to the surrounding neighborhood. The residents to the north of the site, mostly single-family homes, would appreciate the detached-style homes and greater setbacks.

Commissioner Chan was also pleased that the Applicant opted for detached homes as opposed to attached multi-family units, which shows consideration of the neighborhood context. Although some of the units will have to share guest parking, 20 of the 33 units will have dedicated guest parking. It is a good project, with the feel of single-family residences, even though the development is a gated community.

Commissioner Thompson stated that the existing structure on the site is not a historical structure, and the tree mitigation measures are adequate. The driveways allow for at least an additional car during overnight hours. The project is consistent with the General Plan, zoning, and design guidelines and he is favor of approval.

MOTION

It was moved by Commissioner Chan, seconded by Commissioner Tsoi to adopt Resolution No. 2084, approving a new private gated development with a Tentative Tract Map for 33 multi-family, detached residential units that includes a parking modification, and the removal and encroachment of protected trees at 2607 S. Santa Anita Avenue

ROLL CALL

AYES: Commissioners Chan, Thompson, and Tsoi
NOES: None
ABSENT: Chair Wilander, Vice Chair Lin

There is a ten day appeal period after the adoption of the Resolution. If adopted, appeals are to be filed by 5:30 p.m. on Monday, November 22, 2021.

CONSENT CALENDAR

2. Minutes of the October 12, 2021 Regular Meeting of the Planning Commission

Recommendation: Approve

It was moved by Commissioner Chan, seconded by Commissioner Tsoi to approve the minutes of the October 12, 2021 Planning Commission Regular Meeting.

ROLL CALL

AYES: Commissioners Chan, Thompson, and Tsoi
NOES: None
ABSENT: Chair Wilander, Vice Chair Lin

MATTERS FROM CITY COUNCIL LIAISON

Council Member Beck had nothing to report but stated that he is available to answer any questions the Commissioners may have.

MATTERS FROM THE PLANNING COMMISSONERS

There were none.

MATTERS FROM ASSISTANT CITY ATTORNEY

Based on a question from Commissioner Chan on Senate Bill 9 (SB 9), Mr. Todd Leishman of BBK gave a brief update on SB 9 and he stated that City Staff will be bringing forth a draft ordinance in response to the legislation within the next several weeks.

MATTERS FROM STAFF INCLUDING UPCOMING AGENDA ITEMS

Ms. Flores announced that there is one item for the November 23, 2021 meeting – a 10-unit condominium project. Based on the Commissioners comments at the last meeting, she asked if there was a consensus amongst the Commissioners to cancel the December 28, 2021 meeting.

It was moved by Commissioner Chan, seconded by Commissioner Tsoi and carried on a roll call vote to cancel the December 28, 2021 Planning Commission meeting.

ADJOURNMENT

The Planning Commission adjourned the meeting at adjourned at 8:21 p.m., to Tuesday, November 23, 2021 at 7:00 p.m. in the City Council Chamber.

Marilynne Wilander
Chair, Planning Commission

ATTEST: _____
Lisa Flores
Secretary, Planning Commission